

PUBLIC NOTICE

In accordance with the Statutes of the State of Illinois and the Ordinances of the City of Highland Park, the next regular meeting of the Zoning Board of Appeals of the City of Highland Park is scheduled to be held at the hour of 7:30 P.M. on Thursday, September 17, 2026, at City Hall, 1707 St Johns Avenue, Highland Park, Illinois, during which meeting it is anticipated that there will be a discussion of the following items.

The City, in compliance with the Americans with Disabilities Act, requests that persons with disabilities who require certain accommodations to allow them to observe and/or participate in this hearing, or who have questions about the accessibility of the meeting facilities, contact the City's ADA coordinator Emily Taub at etaub@cityhpil.com or 847.926.1005.

The City encourages individuals to sign-up for its eNews for important information from the City and its government partners. The City updates its web site daily and also posts on social media daily. To sign-up for the eNews, visit www.cityhpil.com.

At the meeting, it is anticipated that there will be a discussion of the following items:

CITY OF HIGHLAND PARK ZONING BOARD OF APPEALS

Public Hearing
Thursday, 09/17/2026 - 7:30 P.M.
Council Chambers

City Hall, 1707 St Johns Avenue, Highland Park, Illinois

AGENDA

1) Call to Order

2) Approval of Minutes

- a) 08/06/2026 Zoning Board of Appeals Draft Minutes

3) Business from the Public

4) Old Business

5) New Business

- a) **#VAR-2026-00075**
Property: 451 Broadview Ave
Zoning District: R6 | SLOZ

Appellant: Michelle Peniak
Address: 451 Broadview Ave, Highland Park, IL 60035

The petitioners and owner, Michelle Peniak of 451 Broadview Ave, Highland Park, IL 60035, request by authority of Section 150.1204(A)(4) of the Highland Park Zoning Code, variations of provisions Sections 150.703.3 to construct an addition that will exceed the allowable Floor Area Ratio.

6) Staff Report

7) Miscellaneous

8) Adjournment

**MINUTES OF A REGULAR MEETING
ZONING BOARD OF APPEALS COMMISSION
OF THE CITY OF HIGHLAND PARK, ILLINOIS**

MEETING DATE: Thursday, August 6, 2026

MEETING LOCATION: Council Chambers, City Hall, 1707 St. Johns Avenue, Highland Park, IL

CALL TO ORDER

At 7:31 p.m., Chairperson Yablon called the meeting to order. This Commission meeting takes place on-site. Staff was asked to call the roll.

ROLL CALL

Commissioners Present: Chairperson Yablon; Commissioners Aronoff, Chase, Harmelech, Weisberg, & Zaransky

Commissioners Absent: Treshansky

Councilmember Present: Center

Student Council Absent: Zoe Heller

Staff declared that a quorum was present.

Guests Present: Mr. & Mrs. Jeffery Kalinsky/Petitioner
Claire Kettelkamp, Landscape Architect/Kettelkamp & Kettelkamp

Staff Present: Hoffmann

Others Present: Gale Cerabona, Recorder

APPROVAL OF MINUTES

Regular Meeting of the Zoning Board of Appeals – July 16, 2026

Commissioner Chase moved to approve the July 16, 2026, regular meeting minutes as drafted. Commissioner Weisberg seconded the motion.

On a roll call vote

Voting Yea Chairperson Yablon; Commissioners Aronoff, Chase, & Weisberg

Voting Nay: None

Abstain: Harmelech & Zaransky

Chairperson Yablon declared that the motion passed 4-0.

BUSINESS FROM THE PUBLIC

There was no Business from the Public.

1 **OLD BUSINESS**

2 There was no Old Business.

3
4 **NEW BUSINESS**

5 1. #VAR-2026-00073

6 Property: 85 Hemlock Lane

Appellant: Jeffery Kalinsky

7 Zoning District: R4

Address: 85 Hemlock Lane, Highland Park, IL 60035

8
9 The petitioner & owner, Jeffery Kalinsky, 85 Hemlock Lane, Highland Park, IL 60035, requests by authority of
10 Sections 150.1204(A)(1) of the Highland Park Zoning Code, a variation of provision Section 150.703, to
11 encroach into the side-yard setback requirements for a new shed.
12

13 Planner Hoffmann reviewed the proposal:

- 14 • Project Background (new shed)
 - 15 • Site Location
 - 16 • Aerial view was shown
 - 17 • Plat of Survey (currently in a nonconforming area)
 - 18 • Property Photos
 - 19 • Proposed Work
 - 20 • Other Comments (there were none)
 - 21 • Review
- 22

23 Chair Yablon asked what the dimensions are of the old and new sheds. Planner Hoffmann said roughly
24 8 ½ x 10.
25

26 She swore in Mr. Kalinsky who stated the size of the current shed is 8x10, and the new shed will be 8x12
27 toward the step back. He referenced the standards (shed will only be used for gardening; 225' property with
28 11 mature Oak trees, Weeping Willows, Spruces). All of the properties on his side of the block are pitched
29 toward ComEd; thus, there is flooding that occurs. There is a Cedar privacy fence. The shed came with the
30 house. They want something more attractive and usable. Their vendor, Shed Pro, is an expertised
31 organization. The hardship is being without a shed due to lawn equipment, storage. Buckthorn was all
32 removed. Trees help alleviate the flooding. There are 700 Hostas around the property which is immaculate.
33 The shed is tired. Neighbors don't have an issue; will enhance the neighborhood.
34

35 Some ZBA comments are.....

- 36 • Commissioner Chase asked if there is any other place the shed could go. Mr. Kalinsky said no, as the
37 yard is loaded with trees. The shed sits 80' from the back of the lot. Mrs. Kalinsky said the shed will
38 not be a focal point; a utility. Tree roots can't be tampered with. The shed is tucked in and basically
39 invisible.
 - 40 • Commissioner Harmelech said the standards have been met. The existing structure hasn't caused any
41 harm; improvement. He is in favor.
 - 42 • Commissioner Weisberg said the standards have been met, and he is in favor.
 - 43 • Commissioner Zaransky said the standards have been met, and he is in support.
 - 44 • Commissioner Aronoff concurred.
 - 45 • Commissioner Chase concurs and appreciates yard maintenance. The standards have been met.
 - 46 • Chair Yablon said the standards have been met. She stated it's a stunning yard.
- 47

Commissioner Chase moved to approve the variance as drafted. Commissioner Aronoff seconded the motion.

On a roll call vote

Voting Yea Chairperson Yablon; Commissioners Aronoff, Chase, Harmelech, Weisberg, & Zaransky

Voting Nay: None

Chairperson Yablon declared that the motion passed unanimously.

2. #VAR-2026-00074

Property: 1569 Forest Avenue

Appellant: William Silverstein

Zoning District: R4/LFOZ

Address: 1569 Forest Avenue, Highland Park, IL 60035

The petitioner & owner, William Silverstein, 1569 Forest Avenue, Highland Park, IL 60035, requests by authority of Section 173.130 of the Highland Park Zoning Code, a variation of provision Section 173.010(C), to exceed the maximum allowable 4' fence-height requirement within the required front yard.

Planner Hoffmann reviewed the proposal:

- Project Background (extend new fence into front yard to 6' high)
 - built in 2003
- Site Location
- Aerial view was shown
- Plat of Survey
- Property Photos
 - pool house was previously-approved
- Proposed Work
- Other Comments (there were none)
- Review

Some ZBA comments are.....

- Commissioner Aronoff asked if the fence goes to the street. Planner Hoffmann said no, there is an arborvitae; 13.5' off of the street.
- Commissioner Harmelech said it divides the side yard. He asked what the point is of the height restriction. Planner Hoffmann said it is how the code was written.
- Commissioner Chase asked where the fence becomes in the front yard. Planner Hoffmann illustrated same and said within the front-yard requirement.
- Commissioner Aronoff asked when the variance on the pool house was given. Planner Hoffmann said 2024 or 2025. Councilmember Center stated it just finished completion.

Chair Yablon swore in landscape architect, Claire KettelKamp with KettelKamp & KettelKamp, who said this 6' fence is a common feature on the North Shore; won't be detrimental; has 2 front yards; is unique to the neighboring property. It won't be visible nor impair the neighborhood.

Some PDC comments are.....

- Commissioner Harmelech asked if anyone else has a 6' fence on the street. Ms. KettelKamp said she is unsure and noted, because this is a corner lot, the back yard is in the front yard.

- Commissioner Zaransky asked if the fence is visible from the street. Ms. KettelKamp said no, the fence will be behind the 7' hedge and not visible.
- Commissioner Harmelech stated the fence doesn't go to the street. Ms. KettelKamp concurred.
- Commissioner Chase asked what the gap is between the fence and parkway. Ms. KettelKamp said approximately 8'. She noted on the north and west, there is a 4' metal fence (pool enclosure; shared fence).

Chair Yablon asked if anyone in the audience wishes to speak on this matter. The following was sworn in:

- Eva Soutsos said she has lived south of the subject property for 20 years. She gave history of the street (2 parcels; other lot is ½ acre). Ms. Soutsos stated this could set a precedent. This is a residential neighborhood. The proposal is a convenience. She read a definition of a hardship. Chair Yablon noted the fence standards don't include a hardship component.

Commissioner Harmelech asked what the concern is. Ms. Soutsos said her comments are based on principle. She's never seen anyone in the pool or heard noise. Now, things are visually-pleasing. It is a side porch. There aren't other 6' fences going to the sidewalk. Chair Yablon said the ZBA doesn't go on precedent.

More PDC comments are.....

- Commissioner Chase asked if there is a reason that a 4' fence isn't enough. Ms. KettelKamp said the 6' fence comes above the 2 lanterns, and lights come through. There are dormer windows and lights that come out of the sides and roof; mitigating sound.
- Commissioner Harmelech asked if the structure can be blocked without a variance. Ms. KettelKamp stated it's close; trying to block noise and light. The fence will be invisible due to landscaping.
- Chair Yablon asked:
 - and Ms. KettelKamp said 49' of fence is being added.
 - what the variance amount is. Planner Hoffmann replied 26.5'.
 - if sound and light travels that far. Ms. KettelKamp said the 10' hedge doesn't go all the way from the street. There are different vantage points with different views. The owner wants to hide the pool house from his vantage point.
- Commissioner Weisberg asked if the existing 4' fence will be heightened. Ms. KettelKamp said no, it is a sound barrier.
- Commissioner Aronoff asked, and Ms. KettelKamp said this owner gave a letter of support to his neighbor.
- Commissioner Harmelech asked if a 6' and 4' Cedar fence occur. Ms. KettelKamp said they are trying to maximize the sound barrier. Planner Hoffmann said that would be code compliant.
- Commissioner Aronoff sees both sides. The 6' fence could go to the pool house; doesn't see where the light would come in.
- Commissioner Chase said she is on the fence. There is a neighbor objecting. It doesn't fit in with the neighborhood. Fence standards aren't as strict. Not sure that the first standard is met.
- Commissioner Zaransky said there is major mature growth; no one will see the fence; not visible from the street. It is a through-lot which is a challenge. Regarding standard #1, this is consistent with the other neighbor; is harmonious. He is sensitive to neighbors' comments. It is a side yard which allows fences. This would look good and continue the fence; flows better. Commissioner Zaransky supports the variation.
- Commissioner Weisberg appreciates the neighbor's concern. He concurs and would approve it.
- Commissioner Harmelech said standard #1 is met because the other structure is there.

1
2 Respectfully Submitted,

3
4
5 Gale Cerabona
6 Recorder

7
8 **MINUTES OF JULY 16, 2026, WERE APPROVED WITHOUT CORRECTIONS.**

DRAFT



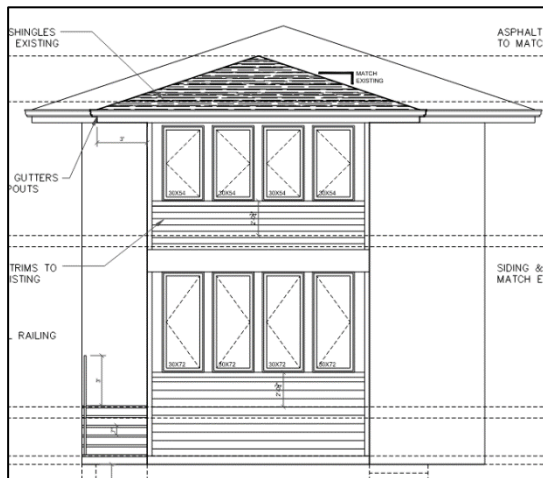
Date: September 17, 2026
 To: Chair Alexis Yablon & Zoning Board of Appeals (“ZBA”)
 From: Patrick Hoffmann, Planner II & Staff Liaison
 Subject: 451 Broadview Ave Application Summary

APPLICATION SUMMARY:

The petitioner and owner, Michelle Peniak, (**the “Applicant”**) of 451 Broadview Ave Highland Park, IL 60035, (**the “Property”**) request by authority of Section 150.1204(A)(4) of the Highland Park Zoning Code, variation of provision Section 150.703.3 to exceed the allowable Floor Area Ratio (FAR) for a new second story addition above an existing level. The subject property is an interior lot located within the R6 zoning district and Small Lot Overlay (SLOZ). According to the Lake County Assessor’s Office the home was constructed in 1960.

The Applicant seeks relief from Section 150.703.3 by authority of Section 150.1204(A)(4):

- (i) To exceed the allowable FAR of 46.8% by 108 square feet for a total FAR of 48.8% in order to build a second story addition;



The applicant is proposing to enclose their second story roof top deck that is located at the rear of the home. In 2004, the subject property received approval from the Zoning Board of Appeals to exceed the allowable FAR of 40% or 2,080 sf in order to construct a second floor above their existing single story home. This proposal is requesting a new FAR of 48.8% or 2,541.51 sf. No additional setback relief is being requested as a part of this request.

In the event the variation is approved, the Applicant is required to get a building permit before construction. This is a request for Chapter 150 zoning variation and requires the ZBA to use the Article 12 Zoning Standards of Approval.

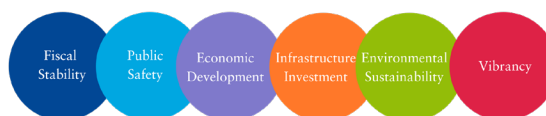
NEIGHBOR & CITY COMMENTS:

- One neighborhood comment was provided, please see attached.

ATTACHMENTS:

- Location Map & Copy of Legal Notice
- Applicant’s Packet
- Previous ZBA Orders – 04-09-VAR-065 Approval & 06-03-VAR-024 Denial
- Draft Approval Order¹

¹ All Approval Orders are to be considered drafts and are not a recommendation by City Staff. The Board may approve, approve with conditions, deny, or continue an application.



Zoning Variance Request Application



SUBJECT PROPERTY INFORMATION

Property Address: 451 Broadview Ave	
Property's Current Zoning: R6	Property's Current Use: single family
Lot/Tract Area (SF): 5,200	Minimum Lot Area for Applicable Zoning District (SF):
Legal Description (note if attached): RAVINIA HIGHLANDS LOT 36 BLOCK 9	
Brief Project Description: enclosing current balcony to create nursery/second office space	

FOR INTERNAL USE ONLY

Case #:
Date Received:
Hearing Date:
Fee Paid:
Third Party Deposit:

PETITIONER & OWNER INFORMATION

Petitioner	
Applicant's Name: Michelle Peniak	
Address (City, State, ZIP): 451 Broadview Highland Park, IL 60035	
Owner	
Property Owner's Name (if the Petitioner is not the legal owner of the property): SAMUEL & MICHELLE PENIAK	
Address (City, State, ZIP): 451 Broadview Highland Park, IL 60035	
Attorney or Representative Counsel	
Contact Name:	
Address (City, State, ZIP):	
Architect/Builder	
Contact Name: Matan Aharoni	
Address (City, State, ZIP): 31665 Hanlon Rd Libertyville, IL 60048	

PROPERTY OWNER SIGNATURE

The undersigned acknowledges and agrees that they are familiar with, have read and reviewed, and understand, all laws and regulations applicable to this application and the requested license/permit/authorization, including, without limitation, Chapter 150 of the City Code. The undersigned further agrees that the applicant complies with any and all eligibility requirements for the requested license/permit/authorization, and that the applicant will comply with all applicable laws and regulations with respect to the requested license/permit/authorization.

Michelle Peniak	8/12/2026
Property Owner	Date
Sworn to before me this 12 day of August , 20 26	
Matan	
Notary Public, State of Illinois Official Seal Matan Aharoni Commission # 930616 My Commission Expires 4/22/2029	
Notary	

Petitioner (If Other Than Property Owner)	Date
Sworn to before me this _____ day of _____, 20____	
Notary	

PROJECT INFORMATION

Height Calculations (see: "Useful Definitions" sheet)

Maximum Allowable Height per Zoning District (feet):

30

Maximum Height of Proposed Structure (feet):

Floor Area Ratio (F.A.R.) Calculations (see: "Useful Definitions" sheet)

Allowable Floor Area (SF):

2,236.00

Allowable F.A.R. (%):

Total Existing Floor Area (SF):

2,433.78

Existing F.A.R. (%):

Area of Addition or Garage (SF):

107.73

Proposed F.A.R. (%):

Total Proposed Floor Area (SF):

2,541.51

F.A.R. = Floor Area / Lot Size

REQUESTED VARIANCES

Fill in all sections that apply. Sections marked with an asterisk (*) require additional review.

Front Yard Encroachment

Note as many as apply - corner lots have two front yards, one on each street frontage

Front Yard Encroachment 1

Minimum Front Yard Setback (feet):

Encroachment into the minimum front yard (feet):

Established Building Setback (feet):

Encroachment into the established building (feet):

Front Yard Encroachment 2 (Corner lot)

Minimum Front Yard Setback (feet):

Encroachment into the minimum front yard (feet):

Established Building Setback (feet):

Encroachment into the established building (feet):

Subdivision Setback Encroachment*

Minimum setback required - Sec. 163.122(D)

Subdivision Setback (feet):

Encroachment into Subdivision Setback (feet):

Height*

Requires Council Review

Permitted Height (feet):

Proposed Height (feet):

Side Yard Encroachment

Lot width (feet):

Minimum Side Yard Setback (feet):

Encroachment into the minimum side yard (feet):

Minimum Side Yard Setback (feet):

Encroachment into the minimum side yard (feet):

Minimum Combined Side Yard Setback (feet):

Encroachment into the total combined side yard (feet):

Steep Slope Encroachment*

Requires review by the Sustainability Advisory Group and additional submission materials

Applicable Steep Slope Setback (check):

- ☐ 10'
- ☐ 40'
- ☐ Special Steep Slope

Encroachment into Steep Slope Setback (feet):

Fence

Maximum permitted fence height (feet):

Proposed fence height (feet):

Fence will exceed permitted fence height by (feet/%):

Lot Coverage

Applicable for Multi-Family Zoning Districts

Permitted Lot Coverage (SF):

Proposed Lot Coverage (SF):

Structure will exceed permitted Lot Coverage by (SF/%):

Rear Yard Coverage

Rear Yard Area (SF):

Area of structures in Rear Yard (SF):

Structure will exceed permitted Rear Yard Lot Coverage by (SF/%):

F.A.R.

Amount by which the structure will exceed maximum F.A.R. (% and SF):

107.73

Other

Please specify:

**PUBLIC NOTICE
ZONING BOARD OF APPEALS
CITY OF HIGHLAND PARK, ILLINOIS**

Notice is hereby given that a Public Hearing will be held at City Hall, 1707 St Johns Avenue, in the City of Highland Park, Lake County, Illinois, on Thursday, September 3, 2026, at 7:30 P.M. Said Public Hearing will be conducted by the Zoning Board of Appeals for variation of provisions of the Zoning Ordinance of 1997, being Chapter 150 of the Highland Park Code, as amended.

VAR-2026-00075

Petitioner: Michelle Peniak
Zoning District: R6 | SLOZ
Subject Property: 451 Broadview Ave
Highland Park, Illinois 60035

The petitioners and owner, Michelle Peniak of 451 Broadview Ave, Highland Park, IL 60035, request by authority of Section 150.1204(A)(4) of the Highland Park Zoning Code, variations of provisions Sections 150.703.3 to construct an addition that will exceed the allowable Floor Area Ratio.

The subject property commonly known as 451 Broadview Ave, Highland Park, Illinois, is legally described as follows:

LOT 36 IN BLOCK 9 IN RAVINIA HIGHLANDS, BEING FREDERICK H. BARTLETT'S NORTH SHORE SUBDIVISION IN THE NORTHWEST ¼ OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 7, 1916 AS DOCUMENT 163742 IN BOOK "J" OF PLATS, PAGES 58 AND 59 IN LAKE COUNTY, ILLINOIS.

PIN: 16-36-123-012-0000

If you have questions about the application, public hearing, or any other questions, you may contact Patrick Hoffmann, Planner II, with the Community Development Department, by email at phoffmann@cityhpil.com or by phone at 847.926.1612.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, special use permits, variations, map or text amendments, or other special approvals.

Any person who also desires to appear as an "interested party" with the right to cross-examine others at the hearing must complete and file an appearance form with the Highland Park City Clerk at the Highland Park City Hall, 1707 St Johns, Highland Park, Illinois, no later than three business days before the date of the hearing. Appearance forms are available at the Finance Department on the first floor of the Highland Park City Hall, 1707 St Johns, Highland Park, Illinois, during regular business hours.

The City, in compliance with the Americans with Disabilities Act, requests that persons with disabilities who require certain accommodations to allow them to observe and/or participate in this hearing, or who have questions about the accessibility of the meeting facilities, contact the City's ADA coordinator Emily Taub at etaub@cityhpil.com or 847.926.1005.

Zoning Board of Appeals
Alexis Yablon, Chairman

Michelle and Samuel Peniak
451 Broadview Ave.
Highland Park, IL 60035
(847) 271-9753 • Michellepappas4@gmail.com

August 12, 2026

City of Highland Park Zoning Board of Appeals
c/o Planning Division, Department of Community Development
1707 St. Johns Avenue
Highland Park, IL 60035

Dear Members of the Board:

We respectfully request a variation from the maximum floor area ratio permitted in the Ravinia District to enclose an existing second-floor balcony at the rear of our home. It already has solid paneled walls, a structural deck, and partial roof coverage. We are asking for the smallest possible deviation, in the least visible location, using space that already exists.

The consequences of that work are worth stating precisely:

- **The footprint of the house does not change.** No ground is covered, no open space is consumed.
- **The building height does not increase.** The roof extension ties in at or below the existing roofline.
- **No setback is encroached.** The structure occupies space it already occupies.
- **The volume is already there.** Because the balcony is already walled on its sides, the mass of the house as seen from outside is substantially what it is today. Converting solid panels to windows does not add bulk.
- **It faces the rear.** The balcony is on the rear elevation and does not span the full width of the house. It is not visible from the street, and it is set within the existing building form rather than projecting from it.
- **No detriment to the neighborhood.** Because nothing about the footprint, height, or visible massing meaningfully changes, the variation cannot impair light, air, or privacy for any adjoining property, affect drainage or stormwater, alter the streetscape, or diminish neighboring values.

Why we are asking

We bought this house in 2021 and in that time have made it our home. We love listening to Ravinia concerts from the yard on summer evenings, and look forward to Halloween each year when the entire block fills with families trick-or-treating. Walks to nearby parks and trails are something we've come to depend on with a toddler and an active dog. Everything we want for our growing family is already here.

My husband and I both work from home, and one of our bedrooms currently serves as our office. With the arrival of our son in October, we will need that room as a dedicated nursery. Converting the balcony off our primary bedroom would give us the flexibility to use the space first as a nursery and then as an office once the baby moves into his own room. Without it, we are without a workspace and no room that closes for meetings. The alternative is selling a home we love and leaving a neighborhood we chose deliberately, with a newborn and a toddler.

Thank you for your time and consideration. We are glad to answer any questions at the hearing.

Respectfully submitted,

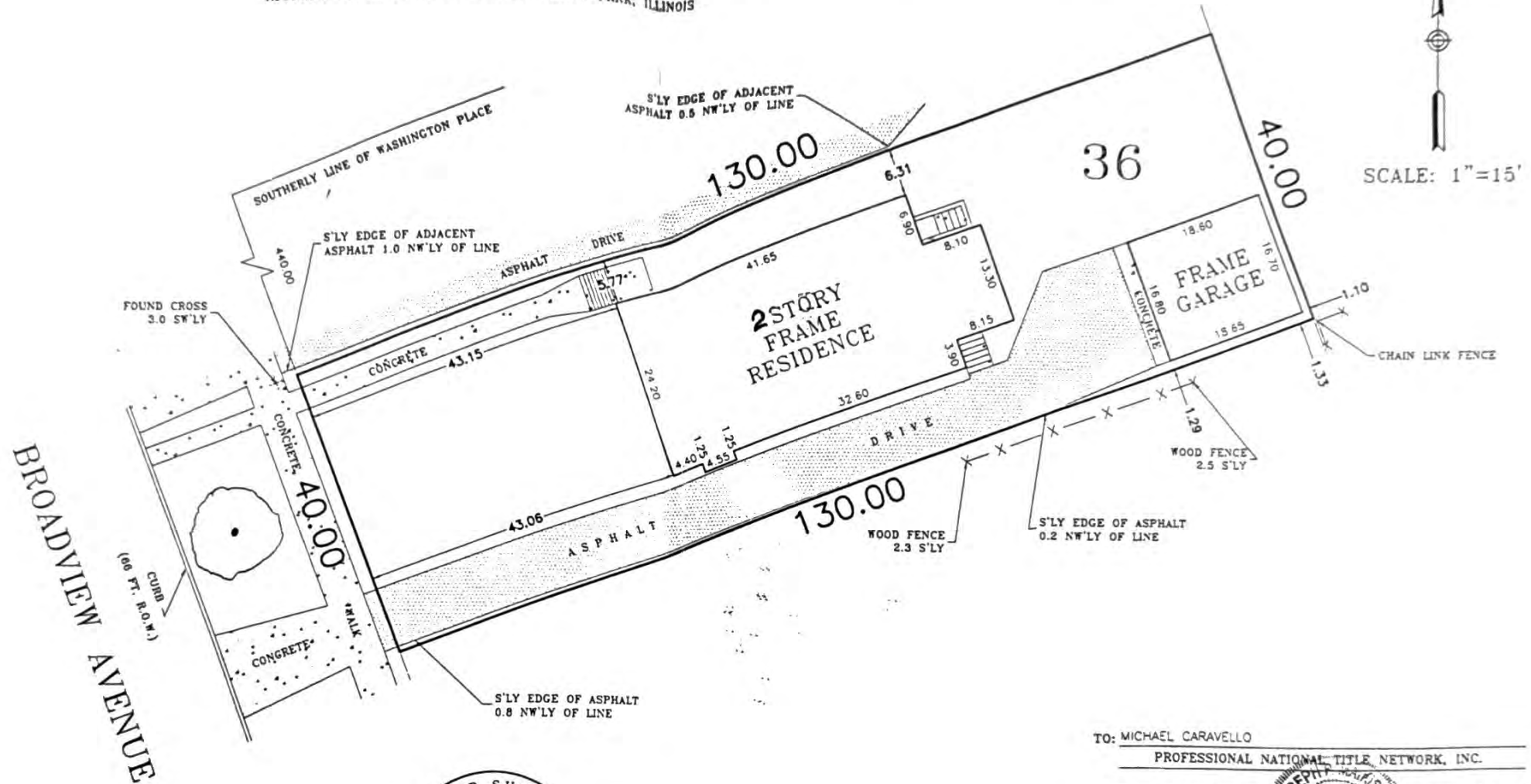
Michelle Peniak
Michelle Peniak

Samuel Peniak
Samuel Peniak

PLAT OF SURVEY

OF LOT 36 IN BLOCK 9 IN RAVINIA HIGHLANDS, BEING FREDERICK H. BARTLETT'S NORTH SHORE SUBDIVISION IN THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 7, 1918, AS DOCUMENT 163742, IN BOOK "J" OF PLATS, PAGE 58 AND 59 IN LAKE COUNTY, ILLINOIS.

ADDRESS: 451 BROADVIEW AVENUE, HIGHLAND PARK, ILLINOIS



TO: MICHAEL CARAVELLO

PROFESSIONAL NATIONAL TITLE NETWORK, INC.

THIS IS TO CERTIFY THAT WE, PREFERRED SURVEY, INC., ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION NO. 116 HAVE SURVEYED THE PROPERTY DESCRIBED HEREON, AND THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF THAT SURVEY. ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

GIVEN UNDER OUR HAND AND SEAL OF OFFICE AT GLEN ELLYN, ILLINOIS, THIS

13TH DAY OF JANUARY, A.D. 2000

ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION #116

P.N.T.N. NO. 3013542

P.S.I. NO. 002988



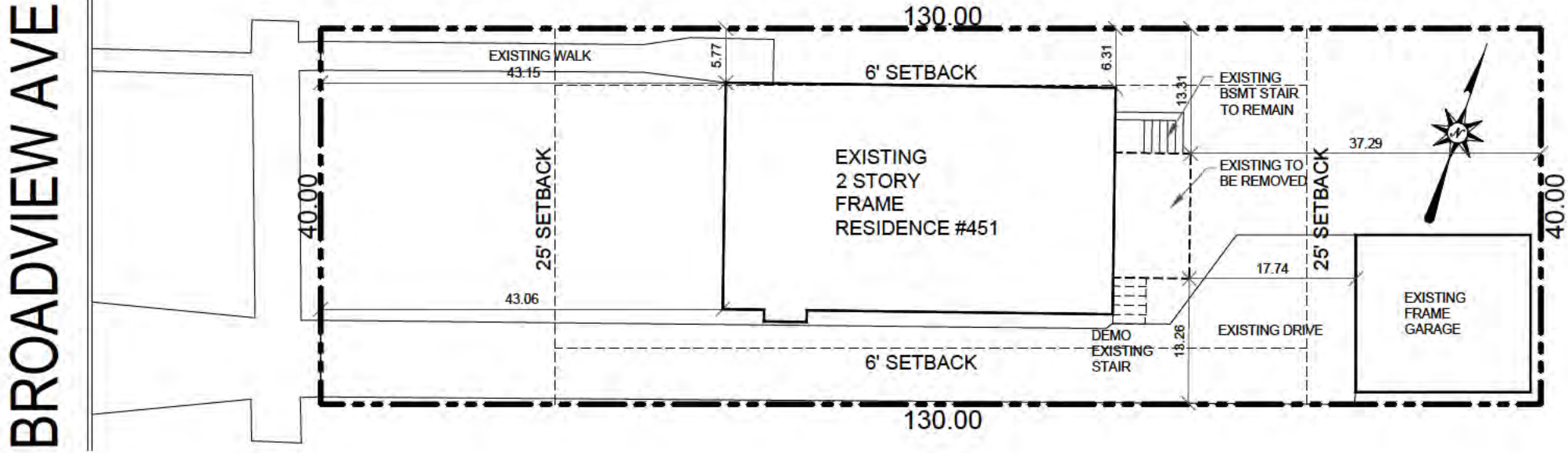
PREFERRED SURVEY, INC.

799 W. Roosevelt Road/Building #4, Suite 305/Glen Ellyn, IL 60137

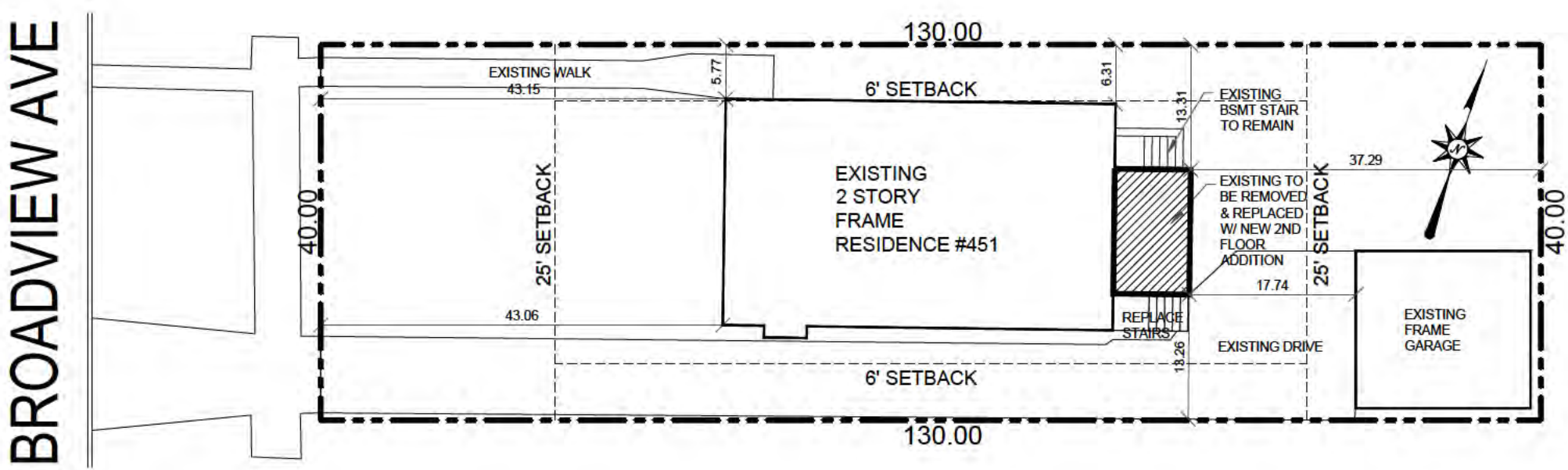
Phone 630-790-5451 / Fax 630-858-6217



01 PROJECT LOCATION
NOT TO SCALE



02 EXISTING SITE PLAN
SCALE: 1/16"=1'-0"



03 PROPOSED SITE PLAN
SCALE: 1/16"=1'-0"

CONSTRUCTION NOTES

- ALL NEW CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES W/ ALL HIGHLAND PARK AMENDMENTS.
- PROVIDE TREATED 2X SILL PLATE AGAINST CONCRETE.
- PROVIDE 5/8" DRYWALL OVER ALL INTERIOR FRAMING
- PROVIDE MINIMUM 3/4" TONGUE AND GROOVE PLYWOOD FOR ALL FLOOR SHEATHING.
- PROVIDE STUD FRAMING AT 16" O.C.
- PROVIDE FIRE STOPPING PER CODE.
- PROVIDE 1/2"(MIN) PLYWOOD OR LET-IN SWAY BRACING AT ALL CORNERS AND EVERY 25' L.F. ON EXTERIOR WALLS
- HANDRAILS - HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, AND SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS AND WINDERS SHALL HAVE THE REQUIRED HANDRAIL LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
- HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.
- HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH DIAMETER OF 1 1/2" TO 2", OR A NONCIRCULAR CROSS SECTION WITH A PERIMETER DIMENSION OF AT LEAST 4" BUT NOT MORE THAN 6 1/2", AND A LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2 1/4". PROVIDE MINIMUM M8" RADIUS EDGES.
- GUARDRAILS. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT.
- OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS OF NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
- REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH WILL NOT ALLOW PASSAGE OF A 4"Ø SPHERE. HORIZONTAL SPACING BETWEEN THE VERTICAL MEMBERS IN REQUIRED GUARDRAILS SHALL BE A MAXIMUM OF 4" AT THE NEAREST POINT BETWEEN THE MEMBERS.
- EXCEPTION: THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A SPHERE 6"Ø CANNOT PASS THROUGH.
- INSTALL SILL SEALER BETWEEN FOUNDATION AND WOOD PLATE. SHIMMED PLATES TO BE GROUTED.
- WOOD SILL PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE RATED FOR ROT AND TERMITES.
- PROVIDE DAMP PROOFING ON EXTERIOR OF ALL FOUNDATION WALLS.
- PROVIDE MINIMUM TWO (2) INCHES BASE AND MINIMUM SIX (6) INCHES WASHED GRAVEL COVER AROUND FOUR (4) INCH DRAIN TILE.
- PROVIDE ANCHOR BOLTS @ 5'-0" O.C., 7" INTO CONCRETE AND NO MORE THAN 12" FROM ANY CORNER.
- PROVIDE MINIMUM R-30 VALUE INSULATION IN ALL EXTERIOR WALLS AND A MINIMUM R-49 VALUE INSULATION IN ALL CEILING AREAS.
- PROVIDE MINIMUM 3/4" EXTERIOR SHEATHING OVER ALL EXTERIOR WALLS.
- PROVIDE 15LB FELT OR OTHER APPROVED WEATHER RESISTANT MEMBRANE OVER ALL EXTERIOR SHEATHING.
- PROVIDE MINIMUM 3/4" EXTERIOR GRADE PLYWOOD FOR ALL ROOF SHEATHING.
- ROOF UNDERLAYMENT - 2:12 TO LESS THAN 4:12 SLOPE - APPLY 2 LAYERS OF 15 LB. FELT CEMENTED OR APPROVED SELF ADHERED MEMBRANE ROOF UNDERLAYMENT EXTENDING MINIMALLY FROM EAVE TO A LINE 24" INSIDE THE EXTERIOR WALL. INSTALL 2 LAYERS OF 15LB. FELT ON REMAINDER OF ROOF. ROOF UNDERLAYMENT - 4:12 AND OVER - APPLY 1 LAYER OF 40LB FELT OR APPROVED MEMBRANE ROOF UNDERLAYMENT EXTENDING MINIMALLY FROM EAVE TO A LINE 12" INSIDE THE EXTERIOR WALL. INSTALL 1 LAYER OF 15LB FELT ON REMAINDER OF ROOF.
- ICE BARRIER - PROVIDE AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR A SELF ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWER EDGES AT ALL ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
- PROVIDE 2X TREATED PLATE ON TOP OF ALL STEEL BEAMS
- PROVIDE APPROVED CORROSION RESISTANT FLASHING AT TOP AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS.
- WOOD FRAMING MEMBERS ADJACENT TO CONCRETE WALLS BELOW GRADE, SHALL EITHER BE PRESERVATIVE TREATED WOOD, OR SHALL HAVE AN AIR GAP BETWEEN THE FRAMING MEMBERS AND THE CONCRETE WALLS, OR SHALL HAVE AN APPROVED VAPOR RETARDER APPLIED BETWEEN THE CONCRETE WALL AND THE FRAMING MEMBERS.
- ALL HARDWARE AND FASTENERS TO BE CORROSION RESISTANT PER SECTION R321.2.1.
- CUTS, NOTCHES AND HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL FLUE LAMINATED MEMBERS OR JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED.
- EXTERIOR WALLS OR INTERIOR LOAD BEARING WALL WHERE STUDS ARE DRILLED WITH A HOLE WITHIN 3/8" TO THE EDGE OF THE STUD, SHALL BE REINFORCED WITH AN APPROVED STUD SHOE.
- EXTERIOR WALLS OR INTERIOR LOAD BEARING WALLS WHERE CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF IT'S WIDTH OCCURS, SHALL HAVE A GALVANIZED METAL TIE NOT LESS THAN 16 GAGE AND 1 1/2" WIDE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING.
- PORCHES AND STEPS TO THE MIN 3500 PSI, WITH MIN 5% TO MAX 7% AIR ENTRAINED CONCRETE MIX.
- STAIR CONSTRUCTION SHALL COMPLY WITH 2024 IRC SECTION R318.7.5 (MAX 7.75" RISER HEIGHT, MIN 10" TREAD DEPTH AND THE MAX HEIGHT DIFFERENCE BETWEEN THE GREATEST AND SMALLEST RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED 3/8").
- INSTALLATION OF FIRE BLOCKING MATERIAL VERTICALLY AT THE FLOOR AND CEILING LEVELS, AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0".

HVAC NOTES

- ALL HVAC INSTALLATION AND SHEET METAL WORK SHALL CONFORM TO STATE AND LOCAL CODES WITH ALL HIGHLAND PARK AMENDMENTS.
- PROVIDE MINIMUM EIGHT (8) PERCENT LIGHT, FOUR (4) PERCENT VENTILATION FOR ALL HABITABLE ROOMS, TWO (2) PERCENT FOR BASEMENTS.
- PROVIDE INSULATED NON-COMBUSTIBLE DUCTWORK IN ATTIC AND ALL INACCESSIBLE DECK AREAS.
- ALL DUCTWORK CONSTRUCTION SHALL CONFORM TO CURRENT ASHRAE STANDARDS FOR LOW VELOCITY DUCTWORK CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED TO FURNISH AND INSTALL, TEST AND ADJUST ALL HEATING, VENTILATING, AIR CONDITIONING SYSTEMS, COMPLETE IN ALL DETAILS AND READY FOR SATISFYING OPERATION.
- HEATING DUCTWORK SHALL BE EXTENDED FROM EXISTING SYSTEMS WITH MANUAL VOLUME DAMPERS ON ALL SUPPLY RUNS.
- ATTIC VENTILATION TO EQUAL 300 OF THE AREA MEASURED AT THE TOP PLATE.
- MANDATORY REQUIREMENT FOR PIPING & DUCT INSULATION IF OUTSIDE THE THERMAL ENVELOPE IS R-8.

ELECTRIC NOTES

- ALL ELECTRICAL WORK SHALL BE DONE PER THE APPLICABLE CODE W/ ALL CITY OF HIGHLAND PARK AMENDMENTS.
- SMOKE DETECTORS REQUIRED: SMOKE DETECTORS SHALL BE INSTALLED WITHIN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND MINIMUM ONE (1) PER STORY OF THE DWELLING, INCLUDING BASEMENTS, CELLARS AND IN THE GENERAL LOCATION OF ALL HEATING EQUIPMENT. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS, A SMOKE DETECTOR NEED BE INSTALLED ONLY ON THE UPPER LEVEL, PROVIDED THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL, EXCEPT THAT IF THERE IS A DOOR BETWEEN LEVELS THEN A DETECTOR IS REQUIRED ON EACH LEVEL. ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT AND SHALL PROVIDE AN ALARM, WHICH WILL BE AUDIBLE IN ALL SLEEPING AREAS. ALL DETECTORS SHALL BE APPROVED AND LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION.
- WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CRATED IN EXISTING DWELLINGS, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS; THE SMOKE DETECTORS ARE NOT REQUIRED TO BE INTERCONNECTED UNLESS OTHER REMODELING CONSIDERATIONS REQUIRE REMOVAL OF THE APPROPRIATE WALL AND CEILING COVERINGS TO FACILITATE CONCEALED INTERCONNECTED WIRING.
- POWER SOURCE: REQUIRED SMOKE DETECTORAS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. ELECTRICALLY OPERATED SMOKE DETECTORS SHALL BE CONNECTED TO A LIGHTING OR POWER CIRCUIT IN THE GENERAL AREA OF THE DETECTOR. LOW VOLTAGE FIRE DETECTION SYSTEMS WILL BE PERMITTED PROVIDED THE DETECTION SYSTEM IS BACKED BY A 120 VOLT POWER SOURCE. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. SMOKE DETECTORS MAY BE BATTERY OPERATED WHEN INSTALLED IN BUILDING WITHOUT COMMERCIAL POWER.
- PROVIDE RECEPTACLE OUTLETS 12 FEET ON CENTER, INCLUDING ANY WALL SPACE TWO (2) FEET OR MORE IN WIDTH AND ALL SPACE OCCUPIED BY SLIDING PANELS IN EXTERIOR WALLS.
- LAYOUT IS DIAGRAMMATIC AND CONTRACTOR SHALL INSTALL WORK TO MEET FIELD CONDITIONS. EXACT LOCATION OF FIXTURES AND RECEPTACLES, AND SWITCHES TO BE APPROVED BY THE OWNER. VERIFY ALL CONDITIONS SUCH AS DUCT SYSTEMS AND COORDINATE WITH WORK OF OTHER TRADES.
- ALL MATERIALS SHALL BE NEW AND UL APPROVED.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROPER LABELING OF NEW CIRCUITS AT PANEL.
- ALL GROUNDING SHALL CONFORM TO NEC AND LOCAL AUTHORITY REQUIREMENTS.
- PROVIDE GROUND FAULT INTERRUPTED OUTLETS IN ALL WATER USE AREAS, AS PER CODE.
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 & 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS, DENS, LIVING ROOMS, RECREATION ROOMS, HALLS, CLOSETS AND SIMILAR ROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S).
- MAINTAIN PROPER CLEARANCES FROM COMBUSTIBLE MATERIALS FOR ALL ELECTRICAL APPLIANCES AND EQUIPMENT AND ALL FLUE PIPES AND DUCTWORK.
- PROVIDE G.F.C.I. OUTLETS AT ALL KITCHEN COUNTERS, BATHROOMS, EXTERIOR, GARAGE, UNFINISHED BASEMENT LOCATIONS AND OUTLETS WITHIN SIX (6) FEET OF WET BAR SINK. A SEPARATED 20 AMP CIRCUIT IS REQUIRED FOR EACH BATHROOM.
- ALL LAMPS IN THE PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICIENCY BULBS.
- OUTDOOR GF I RECEPTACLES TO COMPLY WITH 2023 NEC FOR WEATHER PROOF COVER.
- RECEPTACLES TO BE TAMPER RESISTANT.
- ALL KITCHEN, LAUNDRY, BEDROOM, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, RECREATION ROOM, CLOSET, HALLWAY OR SIMILAR AREA RECEPTACLES AND LIGHTING CIRCUITS SHALL BE ARC-FAULT PROTECTED.
- EXTERIOR LIGHTING SHALL COMPLY WITH CITY OF HP ORDINANCE, SECTION 150.605
- ALL PERMANENTLY INSTALLED LUMINAIRES, EXCEPT APPLIANCE LAMPS, SHALL BE CAPABLE OF OPERATION WITH AN EFFICIENCY NOT LESS THAN 45 LUMENS PER WATT OR SHALL CONTAIN LAMPS CAPABLE OF OPERATION WITH AN EFFICIENCY OF NOT LESS THAN 65 LUMENS PER WATT.
- EXTERIOR RECEPTACLES SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION TO COMPLY WITH 2023 NEC.
- RESIDENTIAL SMOKE/CARBON MONOXIDE DETECTORS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE TO COMPLY WITH CITY OF HIGHLAND PARK ADOPTED AMENDMENTS TO 2024 IRC SECTION R310 AND 2024 IFC SECTION 907.1.4. ALL SMOKE DETECTORS REQUIRED BY THIS CODE TO BE LOCATED WITHIN COMMON AREAS SHALL BE A COMBINATION SMOKE/CARBON MONOXIDE DETECTOR. INSTALLATION SHALL COMPLY WITH MANUFACTURER INSTALLATION INSTRUCTIONS.

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BASEMENT ELECTRIC PLAN
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ELEVATIONS
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ROOF FRAMING PLAN
TYPICAL LEDGER DETAIL
TYPICAL WALL SECTION |

ZONING INFORMATION

ZONED	= R6
LOT AREA	= 5200.00
REQUIRED BUILDING SETBACKS:	
FRONT	= 25.00
SIDE	= 6.00
COMBINED SIDES	= 10.00
REAR	= 25.00
MAXIMUM BUILDING HEIGHT	= 30.00

FLOOR AREA CALCULATIONS

EXISTING FIRST FLOOR	= 1114.77
EXISTING SECOND FLOOR	= 1007.04
EXISTING GARAGE	= 311.97
EXISTING TOTAL	= 2433.78

PROPOSED 2ND FLOOR ADDITION	= 107.73
TOTAL PROPOSED	= 2541.51
MAX. ALLOWABLE	= 2236.00

APPLICABLE CODES

2024 INTERNATIONAL RESIDENTIAL CODE (IRC)
2023 NATIONAL ELECTRICAL CODE (NEC)
2024 INTERNATIONAL MECHANICAL CODE (IMC)
2024 ILLINOIS ENERGY CONSERVATION CODE (IECC)
2024 INTERNATIONAL FIRE CODE
CITY OF HIGHLAND PARK AMENDMENTS TO THE BUILDING CODES

2024 IECC PRESCRIPTIVE PACKAGE
INSULATION & GLAZING REQUIREMENTS

CLIMATE ZONE:	5
FENESTRATION U-FACTOR:	0.28
SKYLIGHT U-FACTOR:	0.50
CEILING R-VALUE:	R-49
WOOD FRAME WALL R-VALUE:	R-30 CI ABOVE DECK
	R-30 CAVITY
	R-20 CAVITY + 5 CI
	R-13 CAVITY + 10 CI
	R-20 CI
FLOOR R-VALUE:	R-30 CAVITY
	R-19 CAVITY + 7.5 CI
	R-20 CI
BASEMENT WALL R-VALUE:	R-19 CAVITY
	R-13 CAVITY + 5 CI
	R-15 CI

SHEET NO.

A-1

OF 3 SHEETS

DATE:

07.22.26

08.12.26

RECONSTRUCTION & ADDITION

451 BROADVIEW AVENUE

HIGHLAND PARK, ILLINOIS 60035

TOWN STUDIOS, INC.

1297 SHERMER ROAD

NORTHBROOK, ILLINOIS 60062

PHONE: 847-498-0900

WWW.TOWNSTUDIOS.COM

CLIFFORD TOWN

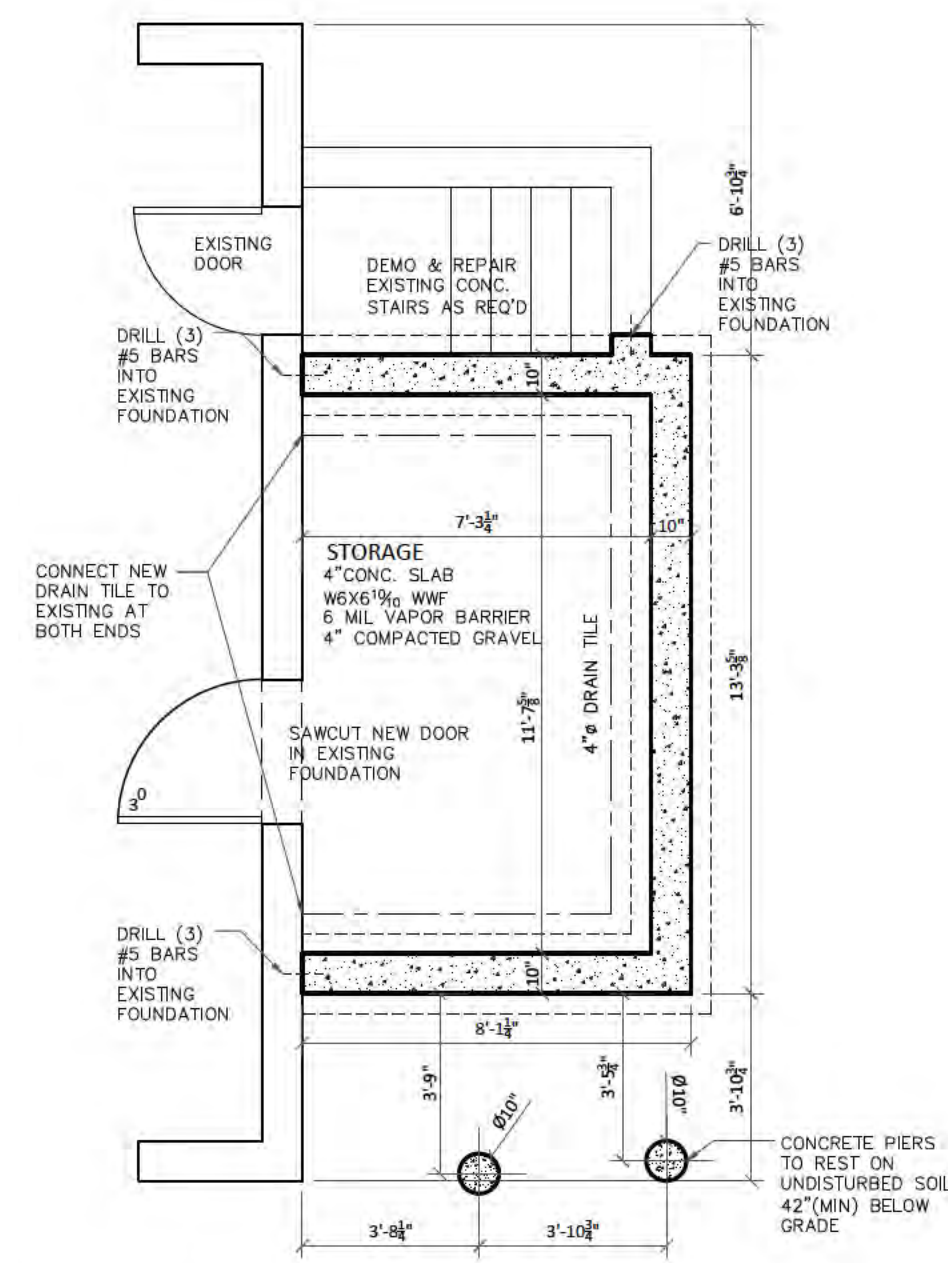
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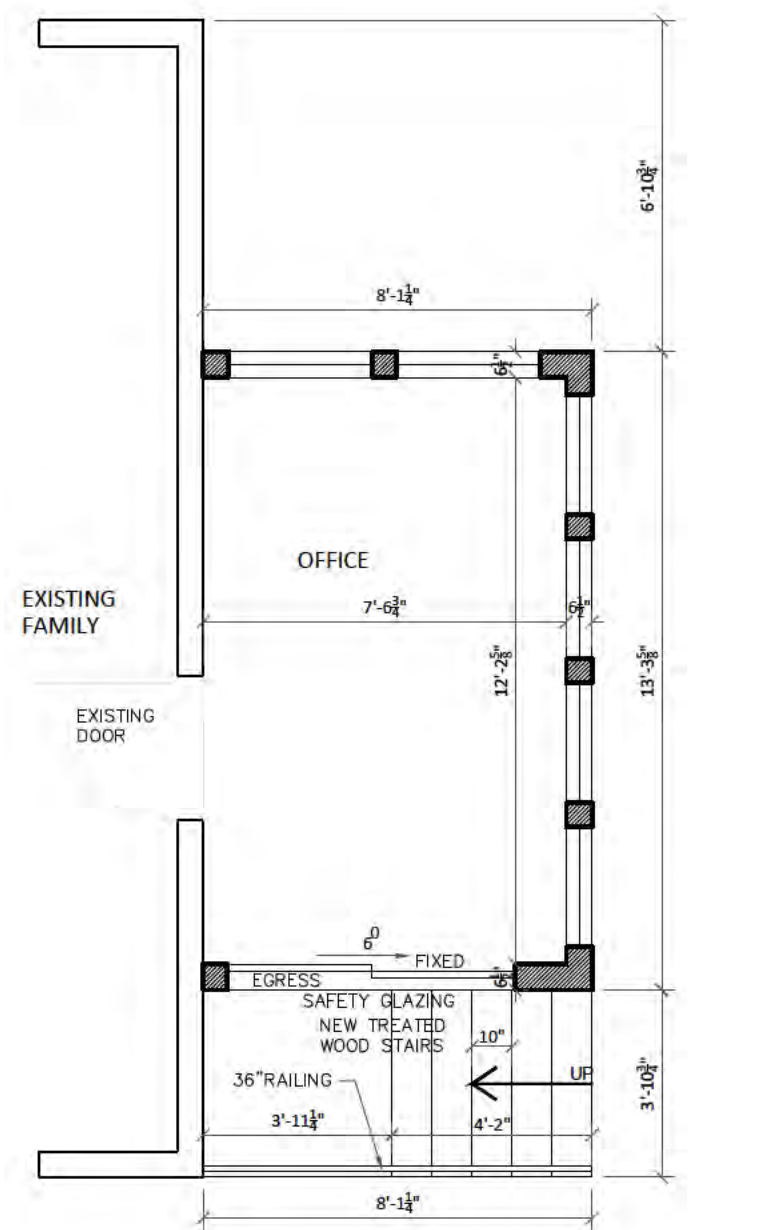
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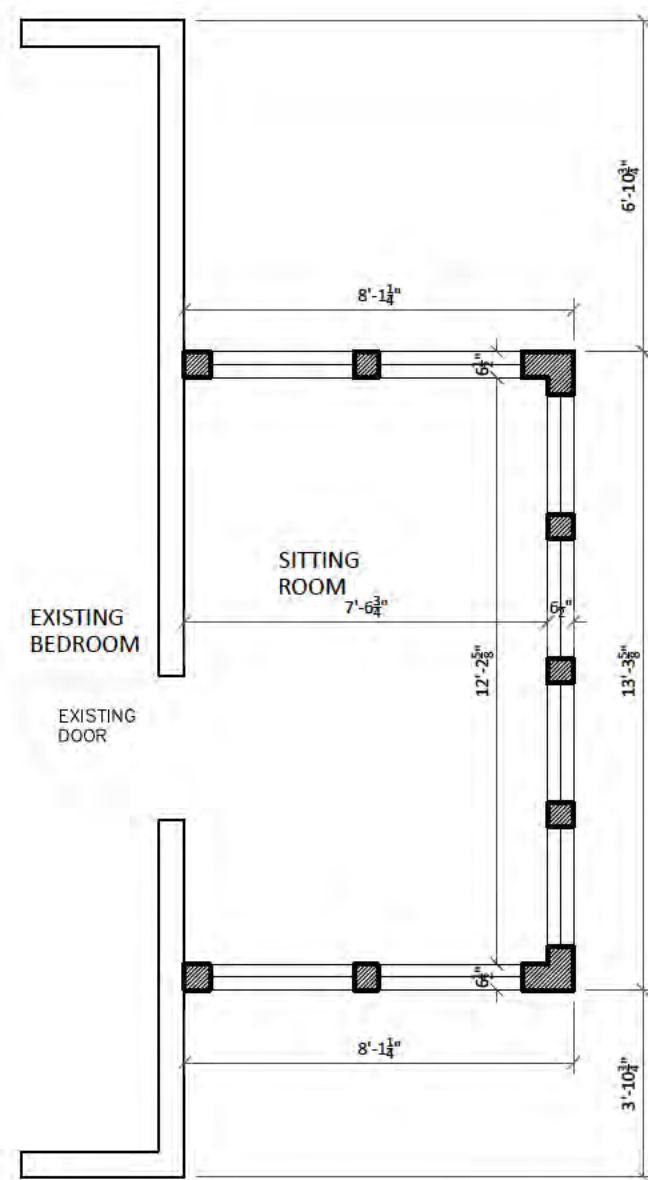
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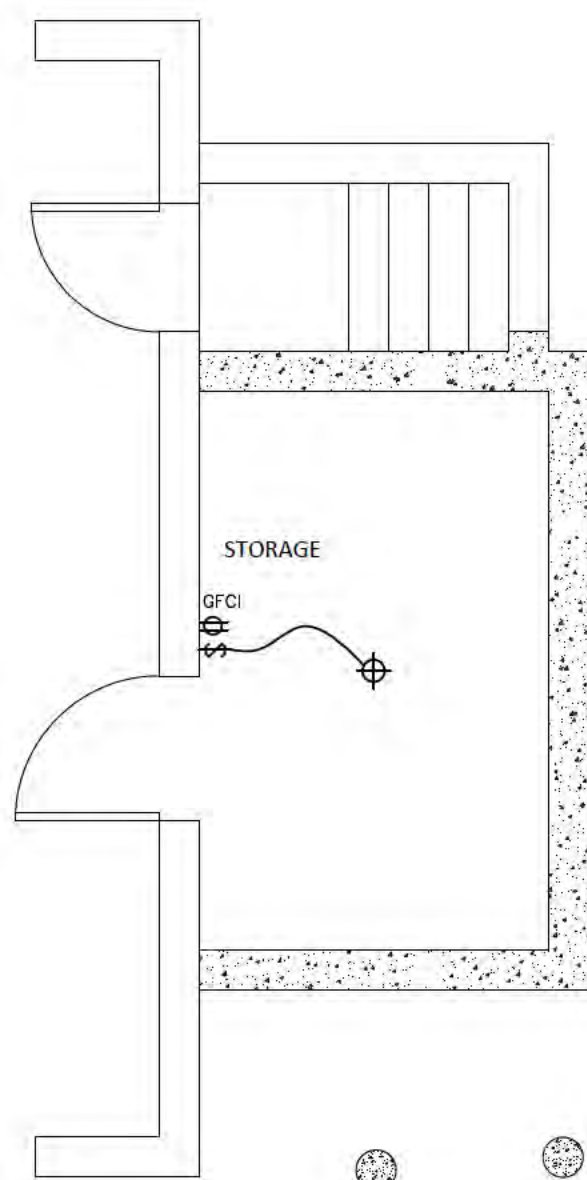
01 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



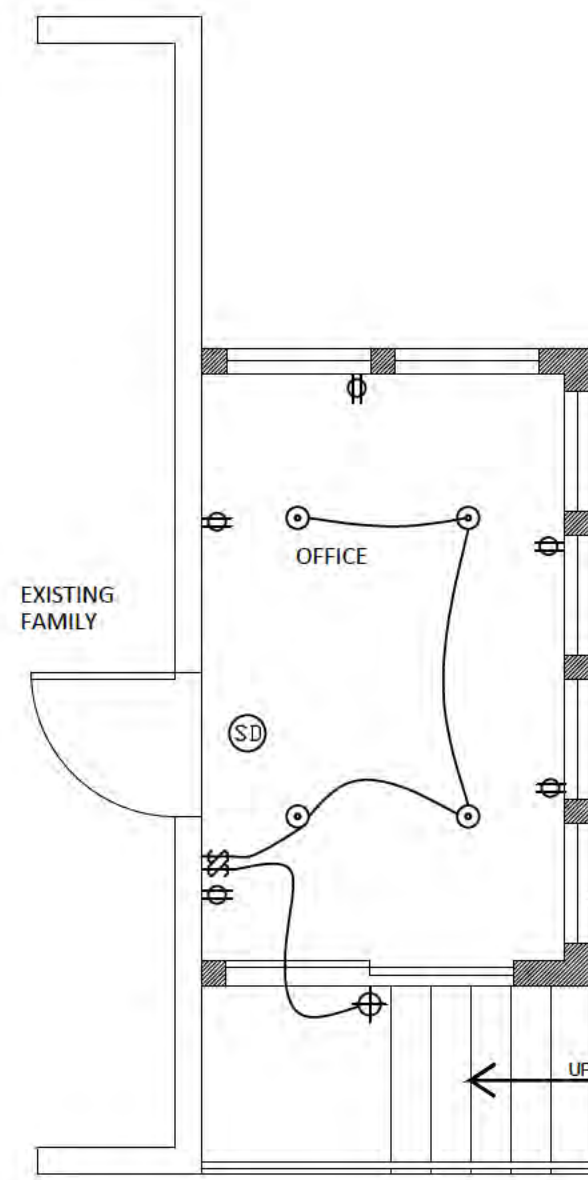
02 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"



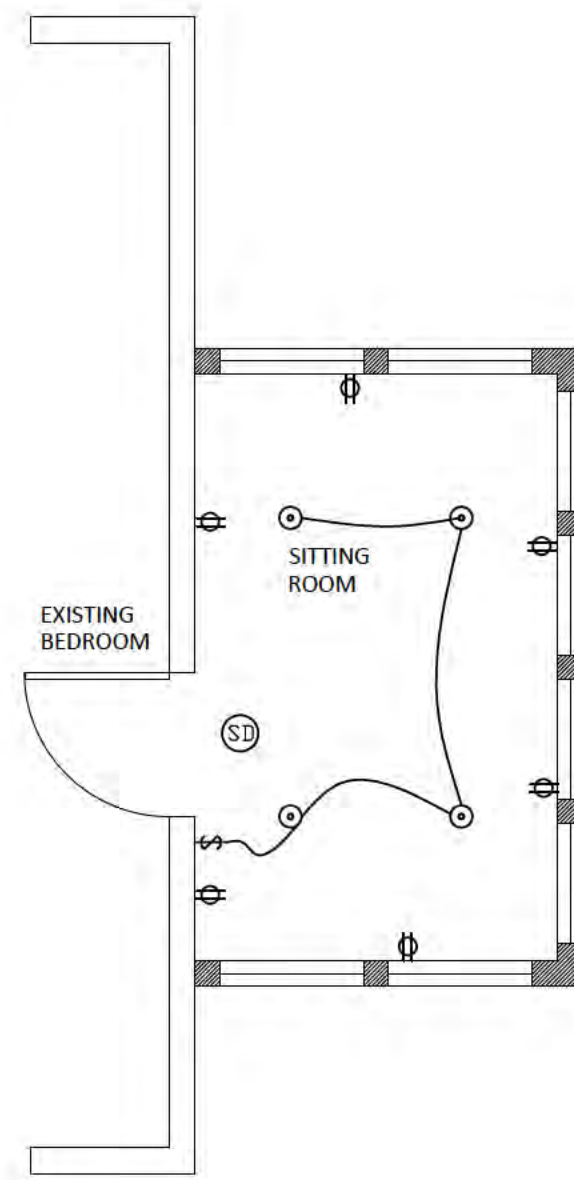
03 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"



04 BSMT ELECTRIC
SCALE: 1/4"=1'-0"



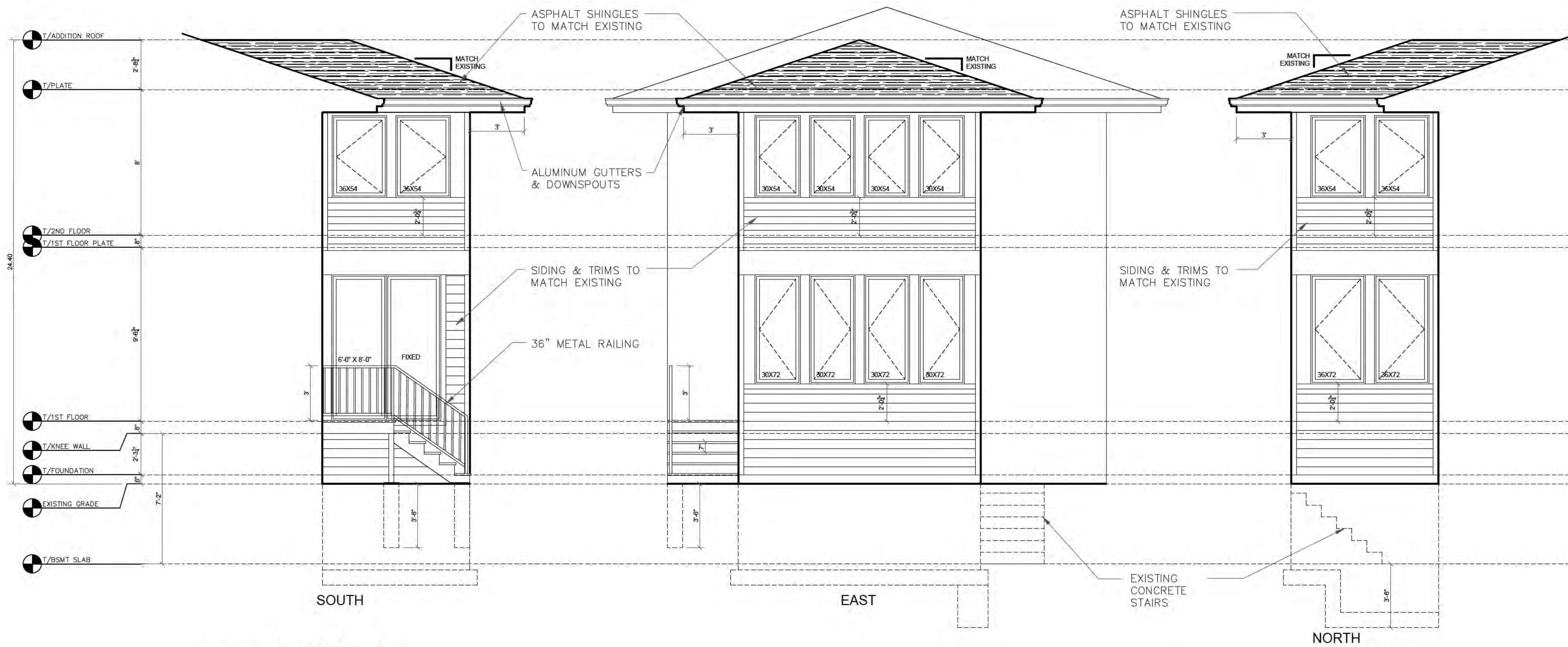
05 1ST FLOOR ELECTRIC
SCALE: 1/4"=1'-0"



06 2ND FLOOR ELECTRIC
SCALE: 1/4"=1'-0"

LIGHT AND VENTILATION SCHEDULE						
ROOM	AREA (S.F.)	ORDINANCE REQUIRED (S.F.)			ACTUAL PROVIDED (S.F.)	
		NATURAL LIGHT	NATURAL VENT	MECH. EXHAUST	NATURAL LIGHT	NATURAL VENT
OFFICE	92	7.36	3.68		144.00	120.00
SITTING	92	7.36	3.68		99.00	99.00

ELECTRIC LEGEND	
⊕	WALL/CEILING MOUNTED LIGHT FIXTURE
⊙	INCANDESCENT CAN LIGHT - DIRECT INSULATION CONTACT TYPE
⚡	LIGHT SWITCH 448" AFF
⊕	RECEPTACLE OUTLET 448" AFF (OUTLETS NOT MARKED W/ "GFCI" TO HAVE ARC-FAULT PROTECTION)
⊕ _{GFCI}	RECEPTACLE OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER
⊕ _W	WATERPROOF RECEPTACLE OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER
SD	110 V SMOKE DETECTOR HARDWIRED ON DEDICATED CIRCUIT W/ BATTERY BACKUP



07 ELEVATIONS
SCALE: 1/4"=1'-0"

SHEET NO.

A-2

OF 3 SHEETS

DATE:

07.22.26

08.12.26

RECONSTRUCTION & ADDITION

451 BROADVIEW AVENUE

HIGHLAND PARK, ILLINOIS 60035

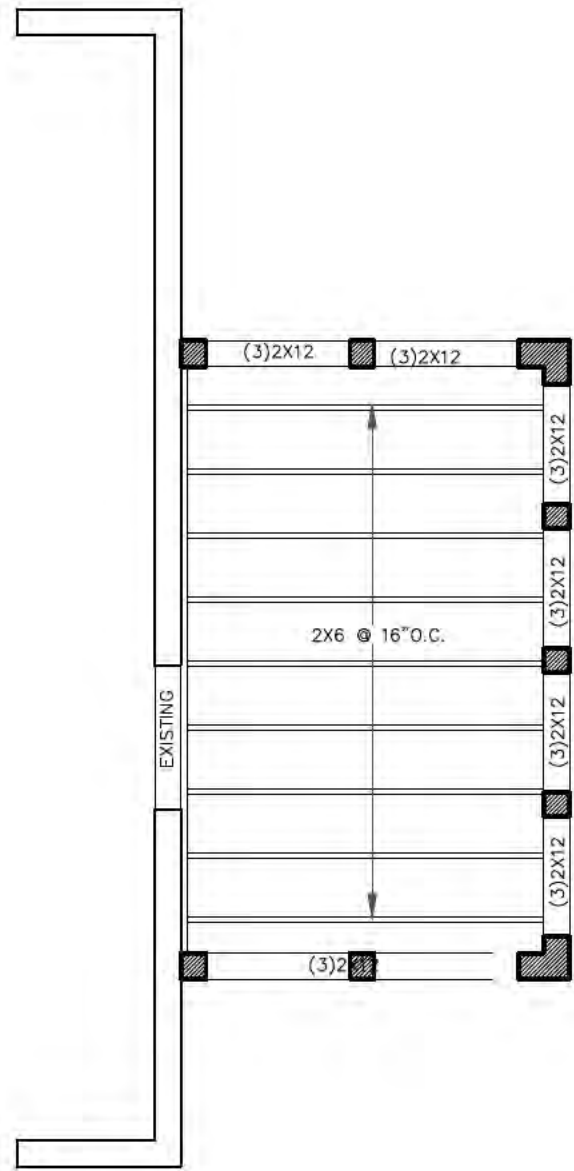
TOWN STUDIOS, INC.

1297 SHERMER ROAD

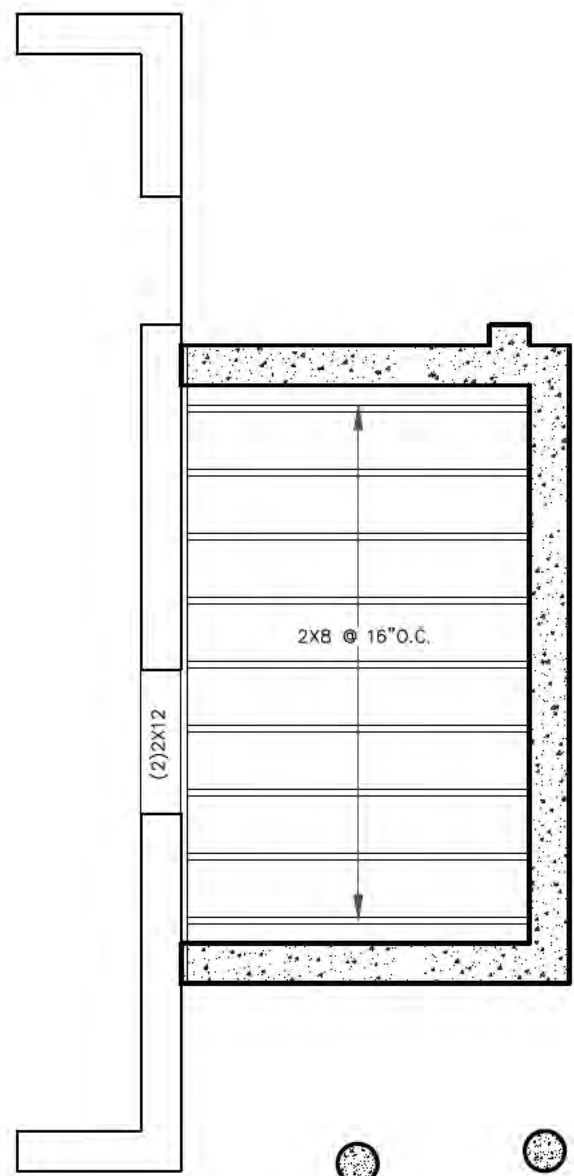
NORTHBROOK, ILLINOIS 60062

PHONE: 847-498-0900

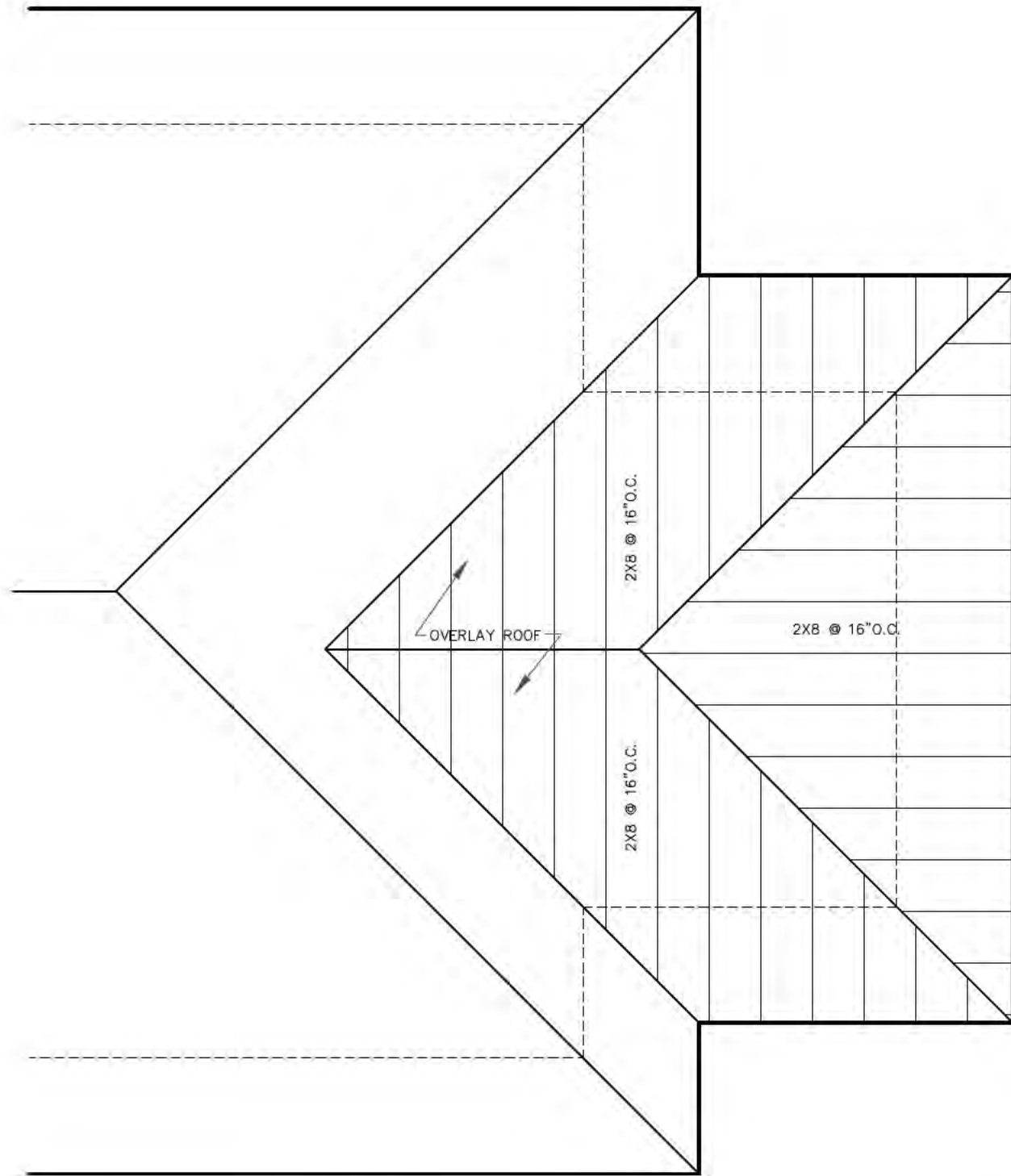
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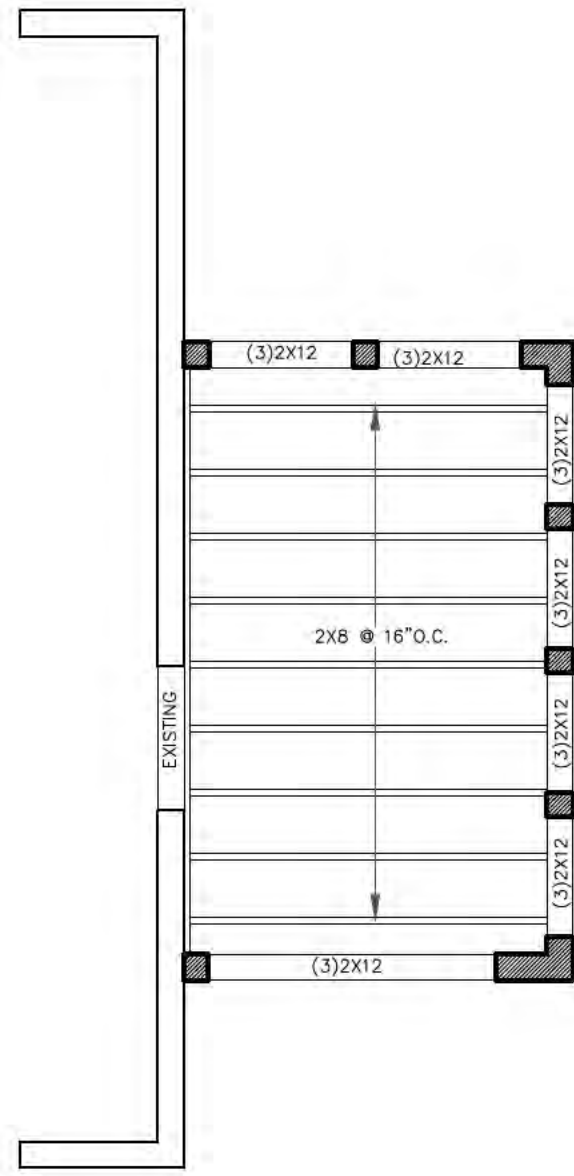
03 CEILING FRAMING PLAN
SCALE: 1/4"=1'-0"



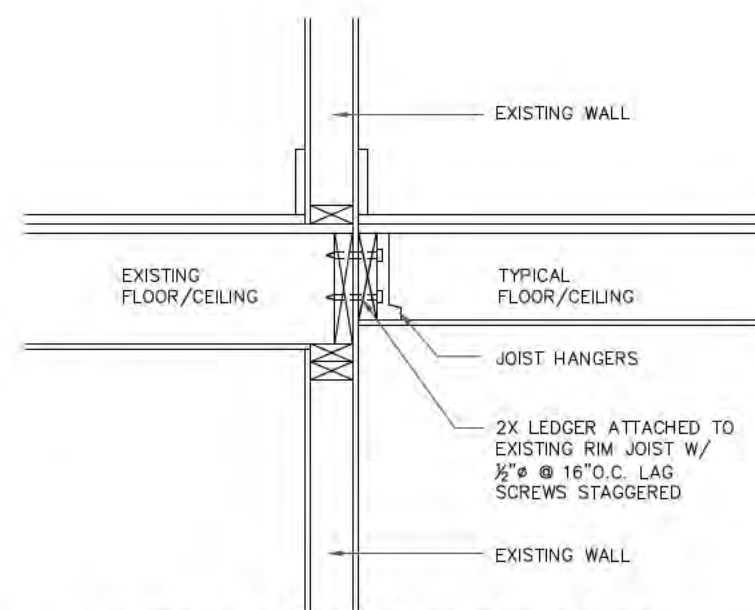
01 FIRST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



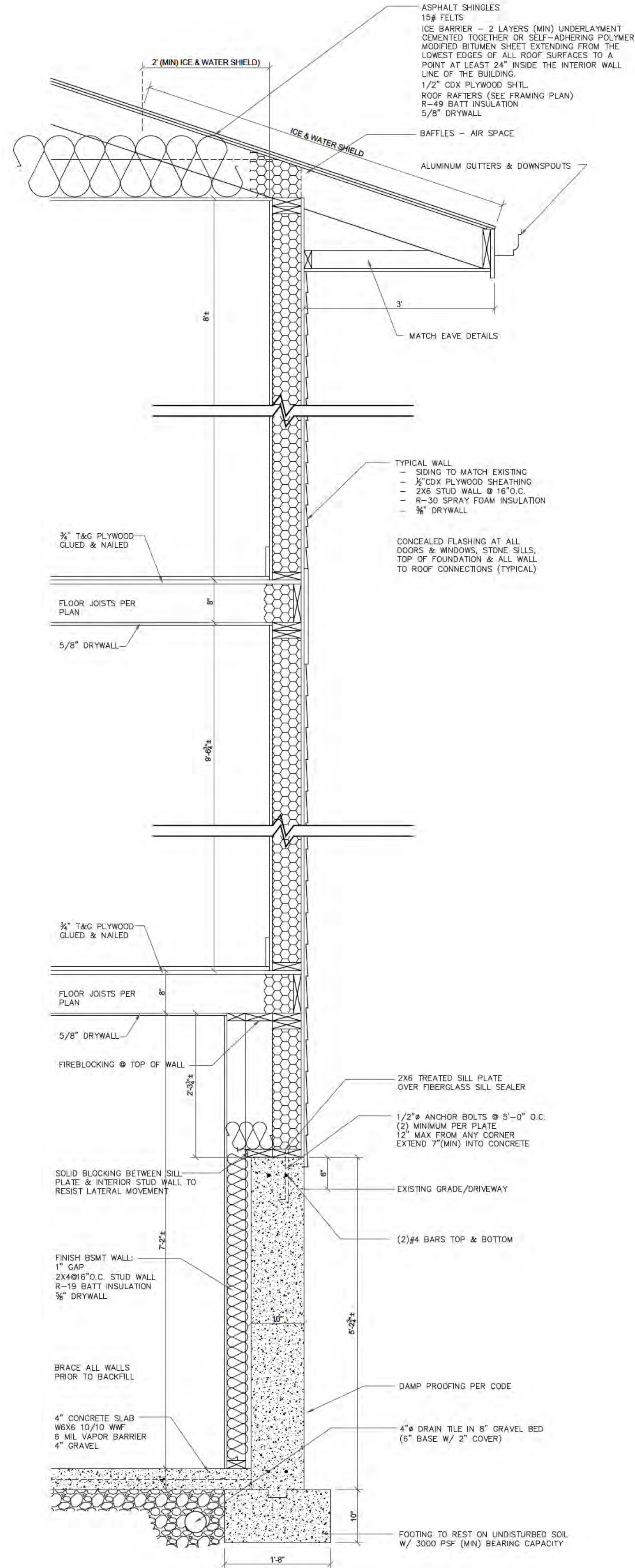
04 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



02 SECOND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



05 LEDGER DETAIL
SCALE: 3/4"=1'-0"



06 TYPICAL WALL SECTION
SCALE: 3/4"=1'-0"



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RECONSTRUCTION & ADDITION
451 BROADVIEW AVENUE
HIGHLAND PARK, ILLINOIS 60035

DATE:

07.22.26
08.12.26

SHEET NO.

A-3
OF 3 SHEETS

FAR Calculations of Neighborhood

For FAR variation requests, the Zoning Board of Appeals compares the F.A.R. of the property under consideration with other properties in the neighborhood.

Floor area and lot area can be obtained from the following sources:

☐ Lake County Assessment Office website at:
<http://www.lakecountyil.gov/Assessor/AssessmentInformation/PropertyTaxAssessmentInfo/Default.htm>

☐ Tax assessor's office:

- Moraine Township Assessor: (847) 432-2100

- West Deerfield Township Assessor: (847) 945-3020

Note that information obtained from the tax assessor or Lake County will result in rough estimates only. Be sure to add garage space, as this is listed separately in the County data. The total square footage provided by the township or county may be inaccurate as floor area is defined by the City of Highland Park. Basement area is excluded; garage area is included in F.A.R. calculations – please refer to the “Useful Definitions” insert in this packet for more information.

Please indicate the FAR for neighboring properties in the table below. Include several homes on both sides of the subject property, across the street, as well as property directly adjacent to the rear of the subject property.

FAR TABLE

Source

Circle:

☒ a) Lake County Website

☐ b) Assessor's Office

☐ c) Other _____

Address	Actual Setback	Lot Area	Source/Notes
Subject Property: 457 Broadview Ave.	1,555	5,201.66	Living area sqft + garage - next door
445 Broadview Ave.	1,221	5,201.66	next door
478 Pleasant Ave.	1,203	5,214.13	rear adjacent
441 Broadview Ave.	2,912	5,201.06	
437 Broadview Ave.	2,918	5,201.06	
450 Broadview Ave.	1,756	5,235.91	across street
454 Broadview Ave.	1,449	5,240.27	across street
470 Pleasant Ave.	2,608	5,214.13	rear
482 Pleasant Ave.	1,686	5,214.13	rear
444 Broadview Ave.	2,144	5,231.56	across street
451 Broadview Ave.	2,322	5,201.06	Home

6. That due notice of said hearing, in addition to the aforesaid publication, was served upon adjacent and adjoining property owners or occupants by certified or registered mail, and/or was served in person by the applicant, and that proof of said service in accordance with the rules of the Board was made a part of the record herein.

7. That further, in accordance with the rules of the Board, evidence of ownership by the applicants of the real property subject to said request for variations (the "Property") was duly produced and admitted as evidence into the record herein.

8. That the Property is legally described as follows:

Lot 36 in Block 9 in Ravinia Highlands, Being Frederick H. Bartlett's North Shore Subdivision in the Northwest ¼ of Section 36, Township 43 North, Range 12 East of the Third Principal Meridian, According to the Plat Thereof Recorded March 7, 1916, in the Book of Plats, in Lake County, Illinois and commonly known as 451 Broadview Ave., in the City, County and State aforementioned.

9. That the Property is improved with a single-family residence.

10. That the aforescribed Property is located within the R6-SLOZ zoning district, as established by the aforesaid Zoning Ordinance, and that variations were sought from the following requirements generally applicable to all property affected by such zoning classification as provided in 150.703 and 150.703.2(D)(4)(a): to encroach 8" beyond the allowable 2' overhang into the side yard setback of 5' on the north side of the property for a distance of 48.5' for a roof and gutter overhang and to exceed the maximum permitted F.A.R. of 40% by 355 square feet for a total F.A.R. of 46.8% in order to build a second floor addition to an existing single story single family residence.

11. That a strict application of the terms and provisions of the Zoning Ordinance imposes upon the applicant exceptional practical difficulties or particular hardships for reasons stated in the application and transcript of this hearing, and amounts to a practical confiscation of the Property due to circumstances unique to the subject Property.

12. That the granting of variations will not serve as a mere convenience to the applicant, will not cause substantial detriment to the public good, will not substantially impair the general purpose and intent of the Master Plan as established by ordinance, will not alter the essential character of the locality, will not impair an adequate supply of light and air to adjacent property, will not unreasonably increase congestion in the public streets, will not increase the danger of fire or endanger the public safety, and will not unreasonably diminish or impair established

property values within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City of Highland Park.

13. That unless variations are granted in accordance with this application, the Property in question cannot yield a reasonable return, in that the house is situated on the lot in such a way as to make alternatives unreasonably expensive and prohibitive; and in that the plight of the owner was due to unique circumstances; and in that the variations requested are consistent with the purposes and intent of said Zoning Ordinance and Master Plan; and for additional reasons set forth in the application and transcript of this hearing.

IT IS, THEREFORE, ORDERED AS FOLLOWS:

That variations from the strict application of the Zoning Ordinance, and, in particular, 150.703 and 150.703.2(D)(4)(a) thereof, are hereby granted as to the real Property hereinabove described, in that the petitioners will be allowed to encroach 8" beyond the allowable 2' overhang into the side yard setback of 5' on the north side of the property for a distance of 48.5' for a roof and gutter overhang and to exceed the maximum permitted F.A.R. of 40% by 355 square feet for a total F.A.R. of 46.8% in order to build a second floor addition to an existing single story single family residence.

That this Order is to take effect only upon compliance with the following conditions:

- (a) All structures will be in substantial conformance with the submitted plans prepared by Chicago Workshop Architects dated February 26, 2004.
- (b) Issuance of a building permit by the City of Highland Park.

This Order shall be valid for a period of no longer than twelve (12) months from the date of this Order unless a building permit is obtained within such period and the erection or alteration of a building is started, or unless the use is commenced within such period; and, in any case where a building permit shall be obtained for the erection or alteration of a building, unless such erection or alteration shall proceed to completion without unnecessary delay.

Order granted on September 23, 2004.

BOARD OF APPEALS
CITY OF HIGHLAND PARK
LAKE COUNTY, ILLINOIS

BY: _____

Cary Glenner, Chairman

STATE OF ILLINOIS)

)SS.

COUNTY OF LAKE)

BEFORE THE BOARD OF APPEALS
CITY OF HIGHLAND PARK
LAKE COUNTY, ILLINOIS

IN THE MATTER OF THE APPEAL OF
Mark and Nany Lanyon
FOR VARIATION

APPEAL NO. ZBA 06-03-VAR-024

DENIAL ORDER

This matter coming on to be heard on the application of Mark and Nany Lanyon for variations from the requirements of 150.105 (A) and 150.711(A) of the Highland Park Zoning Ordinance of 1997 (the "Zoning Ordinance"), as amended, and upon proofs being taken and adduced before the Board of Appeals, City of Highland Park (the "Board"), and the Board being duly advised in the premises, DOES FIND AS FOLLOWS:

1. That said application was heard by the Board, and proofs were taken and adduced before the Board at a regular meeting of the Board held in the City Hall of the City of Highland Park on March 16, 2006 and May 4, 2006.

2. That there were present in person at said meetings of the Board a quorum of the members of the Board for the conduct of the Board's business.

3. That after the conclusion of said hearing, the Board denied said application for variations by the failure of a majority of the members of the Board to vote in the affirmative for the granting of said application.

4. That the Board has jurisdiction under Sections 150.1201, 150.1204 and following of the Zoning Ordinance to hear and determine the request for variations as applied for herein.

5. That due notice of the time and place of such hearing was duly published in The Highland Park News, a paper of general circulation in the City of Highland Park, not more than 30 days nor less than 15 days previous to said hearing, in accordance with the provisions of applicable statutes of the State of Illinois and of the Zoning Ordinance; and proof of publication thereof was made a part of the record herein.

6. That due notice of said hearing was, in addition to the aforesaid publication, served upon the adjacent and adjoining property owners or occupants by certified or registered mail and/or in person by

the applicant, and that said proof of service in accordance with the rules of the Board was made a part of the record herein.

7. That further, in accordance with the rules of the Board, evidence of ownership by the applicants of the real property subject to said request for variations (the "Property") was duly produced and admitted as evidence into the record herein.

8. That the Property is legally described as follows:

Lot 36 in Block 9 in Ravinia Highlands, being Frederick H. Bartlett's North Shore Subdivision in the north west ¼ of Section 36, Township 43 North, Range 12, East of the Third Principal Meridian, According to the Plat recorded March 7, 1916 as doc # 163742 in Book J, Pages 58 and 59 in Lake County, IL and commonly known as 451 Broadview Avenue, Highland Park, IL 60035, in the City, County and State aforementioned.

9. That the Property is improved with a single-family residence.

10. That the aforescribed Property is located within the R6/SLOZ zoning district, as established by the Zoning Ordinance, and that variations were originally sought from the following requirements generally applicable to all property affected by such zoning classification as provided in 150.105 (A) and 150.711(A): structure will encroach 7.64 feet into the established building setback of 38.7 feet on the west side of the property for distance of 24.2 feet in order to construct a front porch on an existing single family residence. The petitioner amended the application and reduced the requested variation to a 2' encroachment into the established building setback of 38.7 feet on the west side of the property for distance of 24.2 feet.

11. That no evidence was presented from which the Board could make any of the following necessary findings:

- (a) that the Property in question could not yield a reasonable return if the variations were not granted;
- (b) that the plight of the owner was due to unique circumstances;
- (c) that the granting of variations would not serve as a mere convenience to the applicant;
- (d) that the variations requested were consistent with the purposes and intent of said Zoning Ordinance and the Master Plan; and
- (e) that the variations, if granted, would not:
 - 1. alter the essential character of the locality;
 - 2. cause substantial detriment to the public good;
 - 3. substantially impair the general purpose and intent of the Master Plan as established by ordinance;
 - 4. impair an adequate supply of light and air to adjacent property;
 - 5. unreasonably increase congestion in the public streets;
 - 6. increase the danger of fire or endanger the public safety; or
 - 7. unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City of Highland Park.

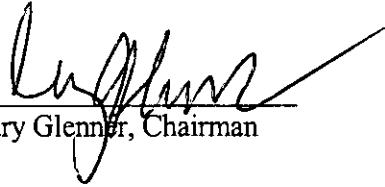
IT IS, THEREFORE, ORDERED AS FOLLOWS:

That the aforesaid application for variations for the real Property hereinabove described be and it is hereby denied for the reasons noted above in this Order and further stated in the transcript of said hearing; so the petitioners will NOT be allowed structure will encroach 7.64 feet into the established building setback of 38.7 feet on the west side of the property for distance of 24.2 feet in order to construct a front porch on an existing single family residence..

Order denied on March 16, 2006

BOARD OF APPEALS
CITY OF HIGHLAND PARK
LAKE COUNTY, ILLINOIS

BY: _____


Cary Glenn, Chairman

From: [frankbahrami \(null\)](#)
To: [Hoffmann, Patrick](#)
Subject: Scheduled meeting 9/17/26 - construction plans for 451 Broadview Avenue
Date: Wednesday, September 9, 2026 11:16:00 AM

[EXTERNAL EMAIL]

Dear Committee members,

It has come to my attention, and the attention of our immediate neighbors, that the owners of 451 Broadview Avenue, Highland Park, IL 60035, are requesting permission to add an addition to their home at the rear of their residence.

This is a complicated situation. It is our understanding that this structure will be added on top of the existing back of the house for a nursery. Nurseries are transitional and what will this "room" be utilized for in the future?

In this Ravinia area, the houses are extremely close to one another. Adding this structure to the rear of the house poses an intrusion into the backs of 5 houses where we all have limited privacy in the first place. Presently, there is foliage which creates some solitude mutually, but in the winter we all have limited privacy in our backyards to our mutual neighbors.

I have noticed in the architectural plans that there are a series of windows all around the conceived structure. While this is appealing to the eye, it will create a "window" unto the surrounding neighbors back of the house. We will all lose any privacy that we currently have, which is not much.

The proposed construction will add a negligible amount of square footage to the current house as it is at this time. It will only invade the space of the surrounding neighbors in its overall bulkiness into the back yard.

Additionally, with construction comes noise disturbance. When is this proposed construction supposed to commence? How long will it take? All of our bedrooms face to the rear of their homes which means that we will all be constantly disturbed morning after morning, day by day, by the very close proximity to this proposed construction.

My wife and I, personally, are not in agreement with this proposed construction. We are requesting that this construction request be denied at this time for the reasons stated above, primarily the loss of privacy.

Thank you for your attention to our concerns.

Kind regards,
Firouz Bahramizadeh
470 Pleasant Avenue
Highland Park, IL 60035

Sent from my iPhone

After recording, please return to:

City of Highland Park
Department of Community Development
Planning Division
1150 Half Day Road
Highland Park, IL 60035



STATE OF ILLINOIS)
) SS.
COUNTY OF LAKE)

BEFORE THE BOARD OF APPEALS
CITY OF HIGHLAND PARK
LAKE COUNTY, ILLINOIS

IN THE MATTER OF THE APPEAL OF
MICHELLE PENIAK
FOR VARIATION

APPEAL NO. ZBA VAR-2026-00075

V A R I A N C E A P P R O V A L O R D E R

This order ("**Order**") concerns the petitioner and owner Michelle Peniak of 451 Broadview Ave, Highland Park, IL 60035, for the variation described herein for the property described herein. The Zoning Board of Appeals of the City of Highland Park ("**Board**"), being duly advised in the premises, DOES FIND AS FOLLOWS:

1. The Property that is the subject of this Order is commonly known as 451 Broadview Ave, Highland Park, IL 60035 and legally described on Exhibit A attached to this Order ("**Property**").
2. The Property is currently improved with a single family house.
3. The Property is located within the R6 Zoning District and Small Lot Overlay, as established by "The City of Highland Park Zoning Ordinance of 1997," as amended ("**Zoning Ordinance**").
4. The Applicant sought the following variations from of Section 150.703.3 of the City Code (the "**Variation**"), in order exceed the allowable FAR to construct a second story addition.
 - a. To exceed the allowable FAR of 46.8% by 108 square feet for a total FAR of 48.8% in order to build a second story addition;
5. Notice of the time and place of the hearing was duly published in Lake County News-Sun, a newspaper of general circulation in the City, not more than 30 days nor less than 15 days previous to the hearing, in accordance with the Zoning Ordinance and all applicable law.

6. Notice of the hearing was served upon the adjacent and adjoining property owners or occupants, in accordance with the Zoning Ordinance, Section 150.1203, and applicable law.
7. The application was heard by the Board at a public hearing of the Board on September 3, 2026.
8. The Board has jurisdiction pursuant to Section 150.1204.(A)(4) of the City Code, to hear and determine the Applicant's request for the Variation.
9. The Applicant entered into the record sufficient evidence of their ownership of the Property.
10. After the conclusion of the public hearing, the Board found that the requested Variation satisfy the standards set forth in Section 150.1205, to the extent required.
11. After the conclusion of the public hearing the Board granted the application for the Variation, by a vote of the majority of the members of the Board.

IT IS, THEREFORE, ORDERED AS FOLLOWS:

A. Subject to and contingent upon the conditions, restrictions, and provisions set forth in Section B of this Order, the Applicant's request for the Variation for the Property shall be, and is hereby, approved for the reasons set forth in this Order. The Applicant will be allowed:

- (i) To exceed the allowable FAR of 46.8% by 108 square feet for a total FAR of 48.8% in order to build a second story addition;

B. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Ordinance, or any other rights the Applicant may have, the variation granted in Section A of this Order shall be, and are hereby, expressly subject to and contingent upon the construction, use, and maintenance of the Property in compliance with each and all of the following conditions:

- i. The construction, development, use, operation, and maintenance of the Property shall comply with the Zoning Ordinance and all other applicable City ordinances, as the same have been or may be amended from time to time, except to the extent specifically provided otherwise in this Order.

- ii. Except for minor changes and site work approved by the Director of Community Development or the City Engineer (for matters within their respective permitting authorities) in accordance with all applicable City standards, the construction, development, use, operation, and maintenance of the Property shall substantially comply with the following plans:

- a. Proposed Site Plan for 451 Broadview Ave by Town Studios, Inc. dated 8.12.26 on sheet A-1,
- b. Proposed Site Plan for 451 Broadview Ave by Town Studios, Inc. dated 8.12.26 on sheet A-2;

C. The Applicant shall permit a copy of this Order to be recorded against the Property in the office of the Lake County Recorder of Deeds. This Order and the privileges, obligations, and provisions contained herein shall inure solely to the benefit of, and be binding upon, the Applicant and their heirs, personal representatives, successors and assigns.

D. This Order shall be valid for a period not to exceed 12 months from the date hereof, unless, within such period and in accordance with this Order, the Applicant commences either (i) erection or alteration of a building or structure, pursuant to a valid building permit for construction on the Property, or (ii) the use contemplated by this Order. In the event that the Applicant obtain a building permit in furtherance of the Variation granted pursuant to this Order, the Applicant shall prosecute all work authorized by the building permit to completion without unnecessary delay.

E. Upon the failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Order, in addition to all other remedies available to the City, the Variation granted pursuant to this Order shall, at the sole discretion of the Board, by order duly adopted, be revoked and become null and void; provided, however, that the Board may not so revoke such Variation unless it shall first provide the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Board. In the event of revocation, the development and use of the Property shall be governed solely by the applicable regulations of the Zoning Ordinance.

Order approved September 6, 2026

ZONING BOARD OF APPEALS
CITY OF HIGHLAND PARK
LAKE COUNTY, ILLINOIS

By: _____
Alexis Yablon, Chairman

5146803_v2

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

The subject property commonly known as 451 Broadview Ave, Highland Park, Illinois, is legally described as follows:

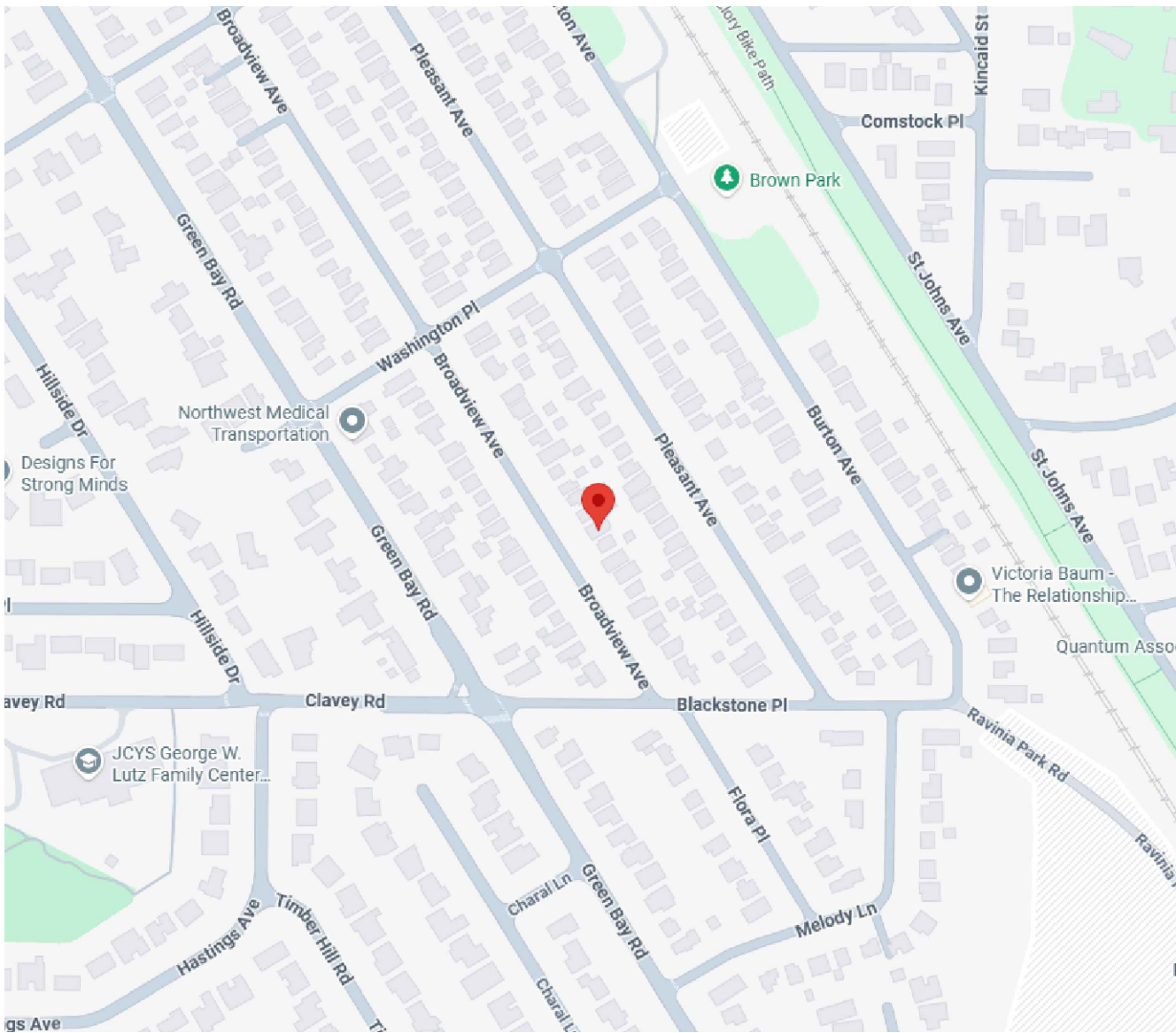
LOT 36 IN BLOCK 9 IN RAVINIA HIGHLANDS, BEING FREDERICK H. BARTLETT'S NORTH SHORE SUBDIVISION IN THE NORTHWEST $\frac{1}{4}$ OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 7, 1916 AS DOCUMENT 163742 IN BOOK "J" OF PLATS, PAGES 58 AND 59 IN LAKE COUNTY, ILLINOIS.

PIN: 16-36-123-012-0000

EXHIBIT B

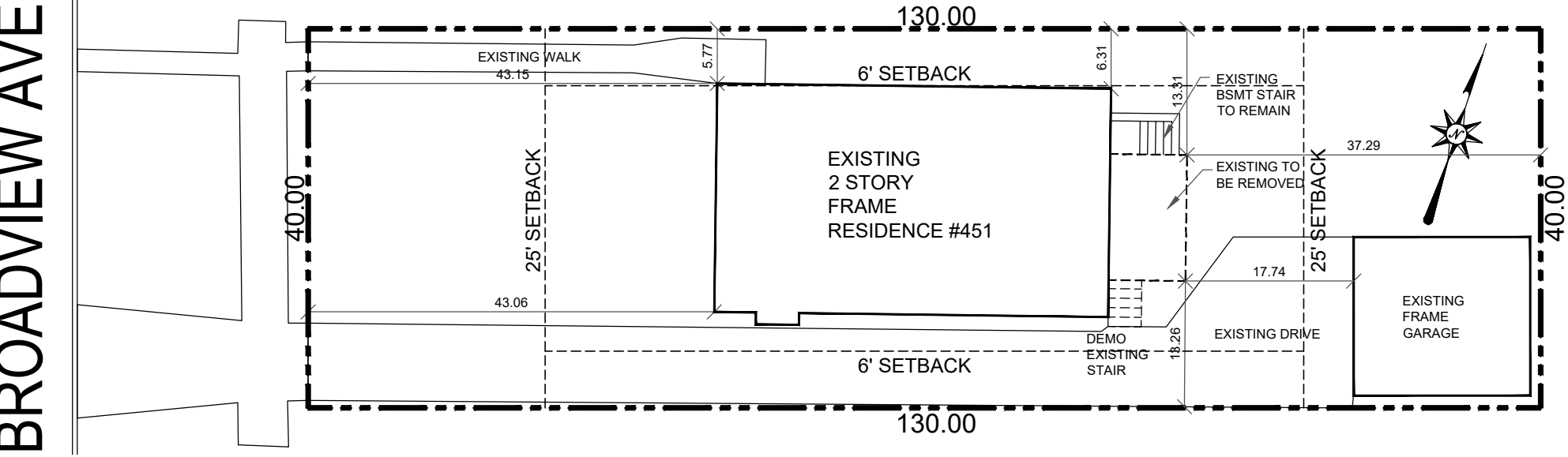
[PLANS]

DRAFT



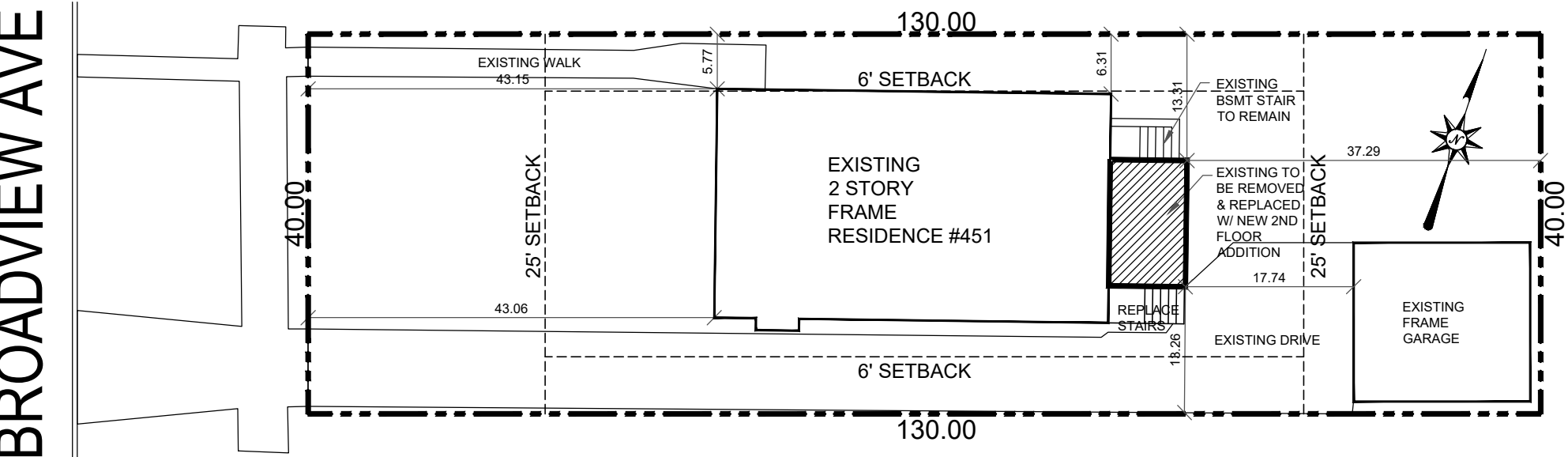
01 PROJECT LOCATION

NOT TO SCALE



02 EXISTING SITE PLAN

SCALE: 1/16"=1'-0"



03 PROPOSED SITE PLAN

SCALE: 1/16"=1'-0"

CONSTRUCTION NOTES

- ALL NEW CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES W/ ALL HIGHLAND PARK AMENDMENTS.
- PROVIDE TREATED 2X SILL PLATE AGAINST CONCRETE.
- PROVIDE 5/8" DRYWALL OVER ALL INTERIOR FRAMING
- PROVIDE MINIMUM 3/4" TONGUE AND GROOVE PLYWOOD FOR ALL FLOOR SHEATHING.
- PROVIDE STUD FRAMING AT 16" O.C.
- PROVIDE FIRE STOPPING PER CODE.
- PROVIDE 1/2"(MIN) PLYWOOD OR LET-IN SWAY BRACING AT ALL CORNERS AND EVERY 25' L.F. ON EXTERIOR WALLS.
- HANDRAILS – HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, AND SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS AND WINDERS SHALL HAVE THE REQUIRED HANDRAIL LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
- HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.
- HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH DIAMETER OF 1 1/2" TO 2", OR A NONCIRCULAR CROSS SECTION WITH A PERIMETER DIMENSION OF AT LEAST 4" BUT NOT MORE THAN 6 1/2", AND A LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2 1/2". PROVIDE MINIMUM M 8" RADIUS EDGES.
- GUARDRAILS, PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT.
- OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS OF NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
- REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH WILL NOT ALLOW PASSAGE OF A 4"Ø SPHERE. HORIZONTAL SPACING BETWEEN THE VERTICAL MEMBERS IN REQUIRED GUARDRAILS SHALL BE A MAXIMUM OF 4" AT THE NEAREST POINT BETWEEN THE MEMBERS.
- EXCEPTION: THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A SPHERE 6"Ø CANNOT PASS THROUGH.
- INSTALL SILL SEALER BETWEEN FOUNDATION AND WOOD PLATE. SHIMMED PLATES TO BE GROUTED.
- WOOD SILL PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE RATED FOR ROT AND TERMITES.
- PROVIDE DAMP PROOFING ON EXTERIOR OF ALL FOUNDATION WALLS.
- PROVIDE MINIMUM TWO (2) INCHES BASE AND MINIMUM SIX (6) INCHES WASHED GRAVEL COVER AROUND FOUR (4) INCH DRAIN TILE.
- PROVIDE ANCHOR BOLTS @ 5'-0" O.C., 7" INTO CONCRETE AND NO MORE THAN 12" FROM ANY CORNER.
- PROVIDE MINIMUM R-30 VALUE INSULATION IN ALL EXTERIOR WALLS AND A MINIMUM R-49 VALUE INSULATION IN ALL CEILING AREAS.
- PROVIDE MINIMUM 3/4" EXTERIOR SHEATHING OVER ALL EXTERIOR WALLS.
- PROVIDE 15LB FELT OR OTHER APPROVED WEATHER RESISTANT MEMBRANE OVER ALL EXTERIOR SHEATHING.
- PROVIDE MINIMUM 3/4" EXTERIOR GRADE PLYWOOD FOR ALL ROOF SHEATHING.
- ROOF UNDERLAYMENT – 2:12 TO LESS THAN 4:12 SLOPE – APPLY 2 LAYERS OF 15 LB. FELT CEMENTED OR APPROVED SELF ADHERED MEMBRANE ROOF UNDERLAYMENT EXTENDING MINIMALLY FROM EAVE TO A LINE 24" INSIDE THE EXTERIOR WALL. INSTALL 2 LAYERS OF 15LB. FELT ON REMAINDER OF ROOF. ROOF UNDERLAYMENT – 4:12 AND OVER – APPLY 1 LAYER OF 40LB FELT OR APPROVED MEMBRANE ROOF UNDERLAYMENT EXTENDING MINIMALLY FROM EAVE TO A LINE 12" INSIDE THE EXTERIOR WALL. INSTALL 1 LAYER OF 15LB FELT ON REMAINDER OF ROOF.
- ICE BARRIER – PROVIDE AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR A SELF ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWER EDGES AT ALL ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
- PROVIDE 2X TREATED PLATE ON TOP OF ALL STEEL BEAMS
- PROVIDE APPROVED CORROSION RESISTANT FLASHING AT TOP AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS.
- WOOD FRAMING MEMBERS ADJACENT TO CONCRETE WALLS BELOW GRADE, SHALL EITHER BE PRESERVATIVE TREATED WOOD, OR SHALL HAVE AN AIR GAP BETWEEN THE FRAMING MEMBERS AND THE CONCRETE WALLS, OR SHALL HAVE AN APPROVED VAPOR RETARDER APPLIED BETWEEN THE CONCRETE WALL AND THE FRAMING MEMBERS.
- ALL HARDWARE AND FASTENERS TO BE CORROSION RESISTANT PER SECTION R321.2.1.
- CUTS, NOTCHES AND HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL FLUE LAMINATED MEMBERS OR JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED.
- EXTERIOR WALLS OR INTERIOR LOAD BEARING WALL WHERE STUDS ARE DRILLED WITH A HOLE WITHIN 3/8" TO THE EDGE OF THE STUD, SHALL BE REINFORCED WITH AN APPROVED STUD SHOE.
- EXTERIOR WALLS OR INTERIOR LOAD BEARING WALLS WHERE CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF IT'S WIDTH OCCURS, SHALL HAVE A GALVANIZED METAL TIE NOT LESS THAN 16 GAGE AND 1 1/2" WIDE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING .
- PORCHES AND STEPS TO THE MIN 3500 PSI, WITH MIN 5% TO MAX 7% AIR ENTRAINED CONCRETE MIX.
- STAIR CONSTRUCTION SHALL COMPLY WITH 2024 IRC SECTION R318.7.5 (MAX 7.75" RISER HEIGHT, MIN 10" TREAD DEPTH AND THE MAX HEIGHT DIFFERENCE BETWEEN THE GREATEST AND SMALLEST RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED 3/8".
- INSTALLATION OF FIRE BLOCKING MATERIAL VERTICALLY AT THE FLOOR AND CEILING LEVELS, AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0".

HVAC NOTES

- ALL HVAC INSTALLATION AND SHEET METAL WORK SHALL CONFORM TO STATE AND LOCAL CODES WITH ALL HIGHLAND PARK AMENDMENTS.
- PROVIDE MINIMUM EIGHT (8) PERCENT LIGHT, FOUR (4) PERCENT VENTILATION FOR ALL HABITABLE ROOMS, TWO (2) PERCENT FOR BASEMENTS.
- PROVIDE INSULATED NON-COMBUSTIBLE DUCTWORK IN ATTIC AND ALL INACCESSIBLE DECK AREAS.
- ALL DUCTWORK CONSTRUCTION SHALL CONFORM TO CURRENT ASHRAE STANDARDS FOR LOW VELOCITY DUCTWORK CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED TO FURNISH AND INSTALL, TEST AND ADJUST ALL HEATING, VENTILATING, AIR CONDITIONING SYSTEMS, COMPLETE IN ALL DETAILS AND READY FOR SATISFYING OPERATION.
- HEATING DUCTWORK SHALL BE EXTENDED FROM EXISTING SYSTEMS WITH MANUAL VOLUME DAMPERS ON ALL SUPPLY RUNS.
- ATTIC VENTILATION TO EQUAL 1/300 OF THE AREA MEASURED AT THE TOP PLATE.
- MANDATORY REQUIREMENT FOR PIPING & DUCT INSULATION IF OUTSIDE THE THERMAL ENVELOPE IS R-8.

ELECTRIC NOTES

- ALL ELECTRICAL WORK SHALL BE DONE PER THE APPLICABLE CODE W/ ALL CITY OF HIGHLAND PARK AMENDMENTS.
- SMOKE DETECTORS REQUIRED: SMOKE DETECTORS SHALL BE INSTALLED WITHIN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND MINIMUM ONE (1) PER STORY OF THE DWELING, INCLUDING BASEMENTS, CELLARS AND IN THE GENERAL LOCATION OF ALL HEATING EQUIPMENT. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS, A SMOKE DETECTOR NEED BE INSTALLED ONLY ON THE UPPER LEVEL, PROVIDED THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL, EXCEPT THAT IF THERE IS A DOOR BETWEEN LEVELS THEN A DETECTOR IS REQUIRED ON EACH LEVEL. ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT AND SHALL PROVIDE AN ALARM, WHICH WILL BE AUDIBLE IN ALL SLEEPING AREAS. ALL DETECTORS SHALL BE APPROVED AND LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION.
- WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CRATED IN EXISTING DWELLINGS, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS; THE SMOKE DETECTORS ARE NOT REQUIRED TO BE INTERCONNECTED UNLESS OTHER REMODELING CONSIDERATIONS REQUIRE REMOVAL OF THE APPROPRIATE WALL AND CEILING COVERINGS TO FACILITATE CONCEALED INTERCONNECTED WIRING.
- POWER SOURCE: REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. ELECTRICALLY OPERATED SMOKE DETECTORS SHALL BE CONNECTED TO A LIGHTING OR POWER CIRCUIT IN THE GENERAL AREA OF THE DETECTOR. LOW VOLTAGE FIRE DETECTION SYSTEMS WILL BE PERMITTED PROVIDED THE DETECTION SYSTEM IS BACKED BY A 120 VOLT POWER SOURCE. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. SMOKE DETECTORS MAY BE BATTERY OPERATED WHEN INSTALLED IN BUILDING WITHOUT COMMERCIAL POWER.
- PROVIDE RECEPTACLE OUTLETS 12 FEET ON CENTER, INCLUDING ANY WALL SPACE TWO (2) FEET OR MORE IN WIDTH AND ALL SPACE OCCUPIED BY SLIDING PANELS IN EXTERIOR WALLS.
- LAYOUT IS DIAGRAMMATIC AND CONTRACTOR SHALL INSTALL WORK TO MEET FIELD CONDITIONS. EXACT LOCATION OF FIXTURES AND RECEPTACLES, AND SWITCHES TO BE APPROVED BY THE OWNER. VERIFY ALL CONDITIONS SUCH AS DUCT SYSTEMS AND COORDINATE WITH WORK OF OTHER TRADES.
- ALL MATERIALS SHALL BE NEW AND UL APPROVED.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROPER LABELING OF NEW CIRCUITS AT PANEL.
- ALL GROUNDING SHALL CONFORM TO NEC AND LOCAL AUTHORITY REQUIREMENTS.
- PROVIDE GROUND FAULT INTERRUPTED OUTLETS IN ALL WATER USE AREAS, AS PER CODE.
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 & 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS, DENS, LIVING ROOMS, RECREATION ROOMS, HALLS, CLOSETS AND SIMILAR ROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S).
- MAINTAIN PROPER CLEARANCES FROM COMBUSTIBLE MATERIALS FOR ALL ELECTRICAL APPLIANCES AND EQUIPMENT AND ALL FLUE PIPES AND DUCTWORK.
- PROVIDE G.F.C.I. OUTLETS AT ALL KITCHEN COUNTERS, BATHROOMS, EXTERIOR, GARAGE, UNFINISHED BASEMENT LOCATIONS AND OUTLETS WITHIN SIX (6) FEET OF WET BAR SINK. A SEPARATED 20 AMP CIRCUIT IS REQUIRED FOR EACH BATHROOM.
- ALL LAMPS IN THE PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICIENCY BULBS.
- OUTDOOR GF I RECEPTACLES TO COMPLY WITH 2023 NEC FOR WEATHER PROOF COVER.
- RECEPTACLES TO BE TAMPER RESISTANT.
- ALL KITCHEN, LAUNDRY, BEDROOM, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, RECREATION ROOM, CLOSET, HALLWAY OR SIMILAR AREA RECEPTACLES AND LIGHTING CIRCUITS SHALL BE ARC-FAULT PROTECTED.
- EXTERIOR LIGHTING SHALL COMPLY WITH CITY OF HP ORDINANCE, SECTION 150.605
- ALL PERMANENTLY INSTALLED LUMINAIRES, EXCEPT APPLIANCE LAMPS, SHALL BE CAPABLE OF OPERATION WITH AN EFFICIENCY NOT LESS THAN 45 LUMENS PER WATT OR SHALL CONTAIN LAMPS CAPABLE OF OPERATION WITH AN EFFICIENCY OF NOT LESS THAN 65 LUMENS PER WATT.
- EXTERIOR RECEPTACLES SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION TO COMPLY WITH 2023 NEC.
- RESIDENTIAL SMOKE/CARBON MONOXIDE DETECTORS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE TO COMPLY WITH CITY OF HIGHLAND PARK ADOPTED AMENDMENTS TO 2024 IRC SECTION R310 AND 2024 IFC SECTION 907.1.4. ALL SMOKE DETECTORS REQUIRED BY THIS CODE TO BE LOCATED WITHIN COMMON AREAS SHALL BE A COMBINATION SMOKE/CARBON MONOXIDE DETECTOR. INSTALLATION SHALL COMPLY WITH MANUFACTURER INSTALLATION INSTRUCTIONS.

DRAWING INDEX

- | | |
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SECOND FLOOR PLAN
BASEMENT ELECTRIC PLAN
FIRST FLOOR ELECTRIC PLAN
SECOND FLOOR ELECTRIC PLAN
ELEVATIONS
LIGHT & VENTILATION SCHEDULE |
| A3 | FIRST FLOOR FRAMING PLAN
SECOND FLOOR FRAMING PLAN
CEILING FRAMING PLAN
ROOF FRAMING PLAN
TYPICAL LEDGER DETAIL
TYPICAL WALL SECTION |

ZONING INFORMATION

ZONED	= R6
LOT AREA	= 5200.00
REQUIRED BUILDING SETBACKS:	
FRONT	= 25.00
SIDE	= 6.00
COMBINED SIDES	= 10.00
REAR	= 25.00
MAXIMUM BUILDING HEIGHT	= 30.00

FLOOR AREA CALCULATIONS

EXISTING FIRST FLOOR	= 1114.77
EXISTING SECOND FLOOR	= 1007.04
EXISTING GARAGE	= 311.97
EXISTING TOTAL	= 2433.78

PROPOSED 2ND FLOOR ADDITION	= 107.73
TOTAL PROPOSED	= 2541.51
MAX. ALLOWABLE	= 2236.00

APPLICABLE CODES

2024 INTERNATIONAL RESIDENTIAL CODE (IRC)
2023 NATIONAL ELECTRICAL CODE (NEC)
2024 INTERNATIONAL MECHANICAL CODE (IMC)
2024 ILLINOIS ENERGY CONSERVATION CODE (IECC)
2024 INTERNATIONAL FIRE CODE
CITY OF HIGHLAND PARK AMENDMENTS TO THE BUILDING CODES

2024 IECC PRESCRIPTIVE PACKAGE INSULATION & GLAZING REQUIREMENTS

CLIMATE ZONE:	5
FENESTRATION U-FACTOR:	0.28
SKYLIGHT U-FACTOR:	0.50
CEILING R-VALUE:	R-49
WOOD FRAME WALL R-VALUE:	R-30 CI ABOVE DECK R-30 CAVITY R-20 CAVITY + 5 CI R-13 CAVITY + 10 CI R-20 CI
FLOOR R-VALUE:	R-30 CAVITY R-19 CAVITY + 7.5 CI R-20 CI
BASEMENT WALL R-VALUE:	R-19 CAVITY R-13 CAVITY + 5 CI R-15 CI

RECONSTRUCTION & ADDITION
451 BROADVIEW AVENUE
HIGHLAND PARK, ILLINOIS 60035

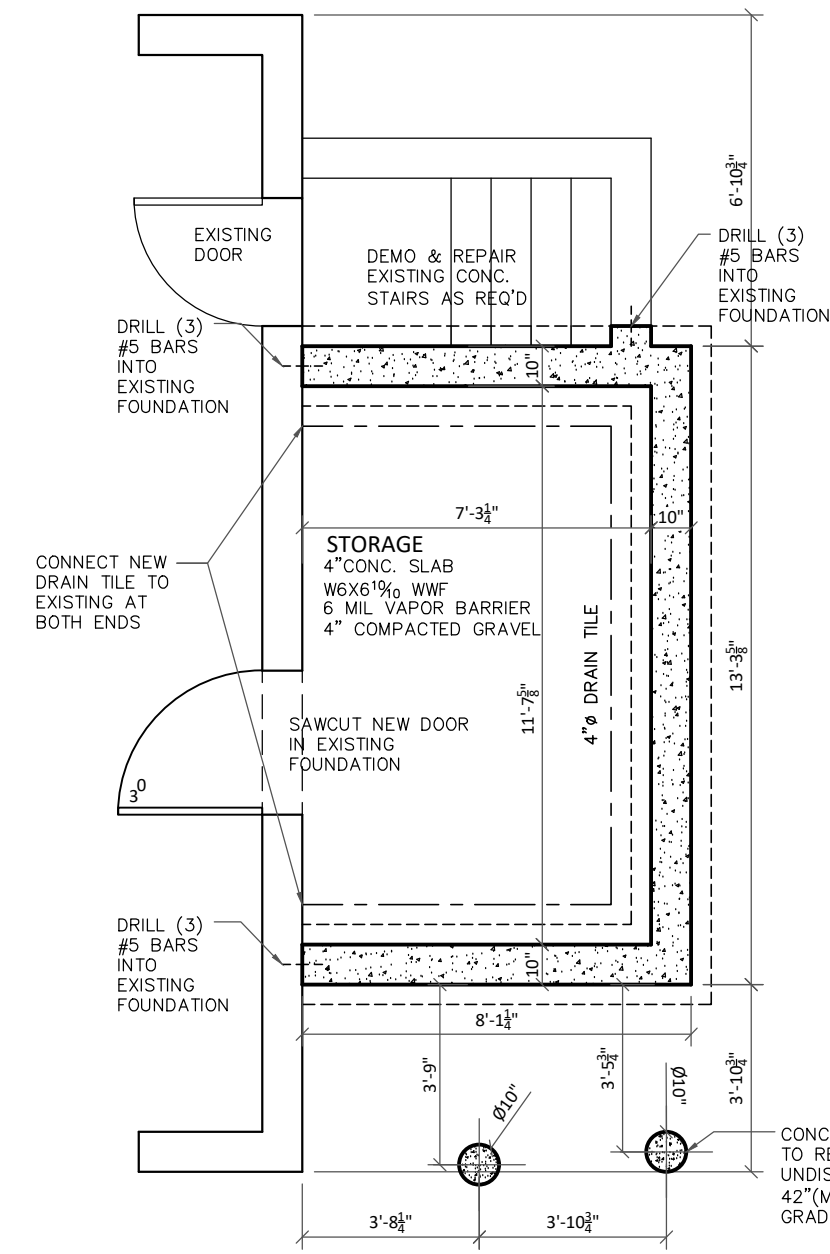
TOWN STUDIOS, INC.
1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062
PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM

SHEET NO. A-1
OF 3 SHEETS

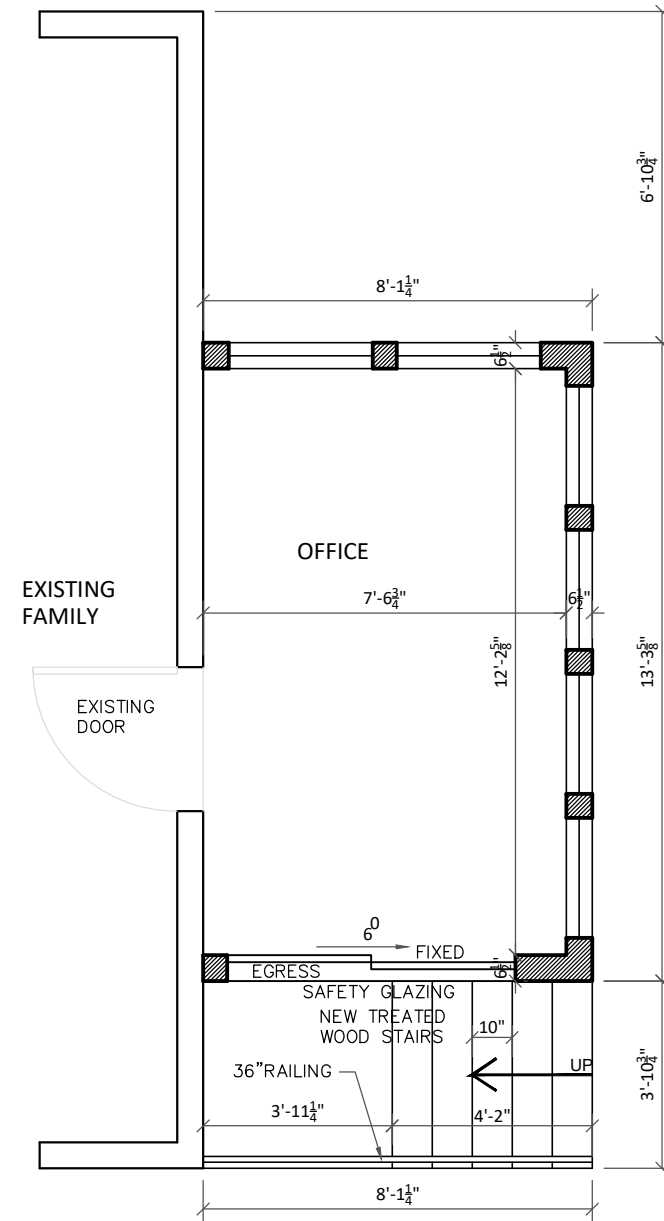
DATE: 07.22.26
08.12.26

CLIFFORD TOWN
001-012279
STATE OF ILLINOIS
EXP. 11-26
8/12/26

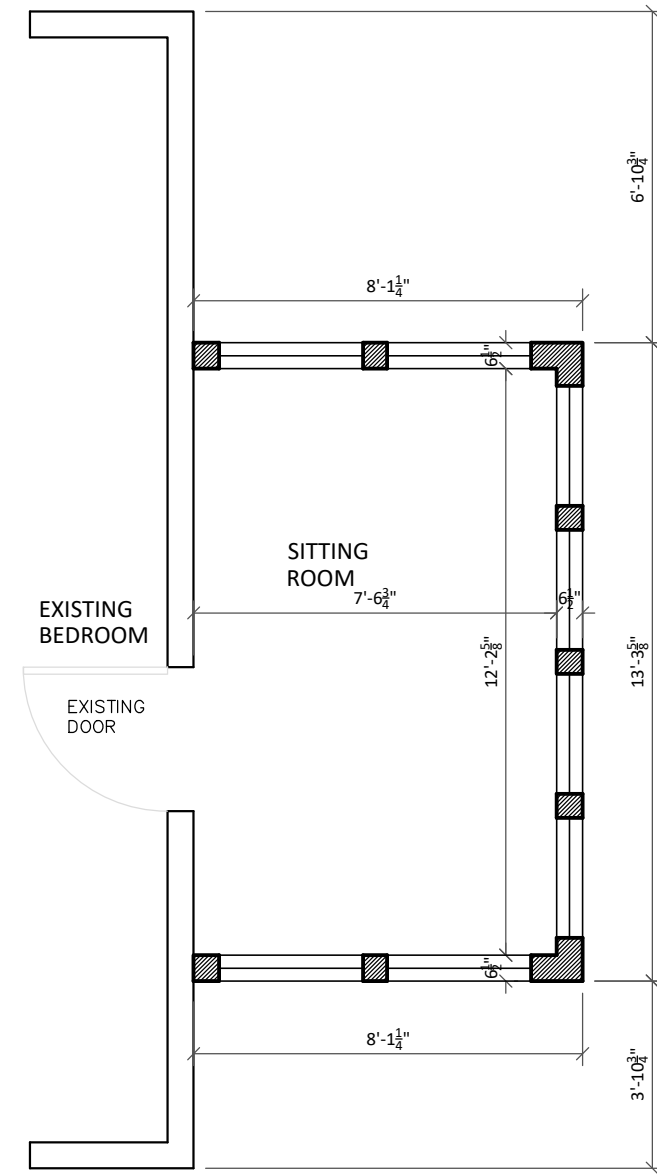
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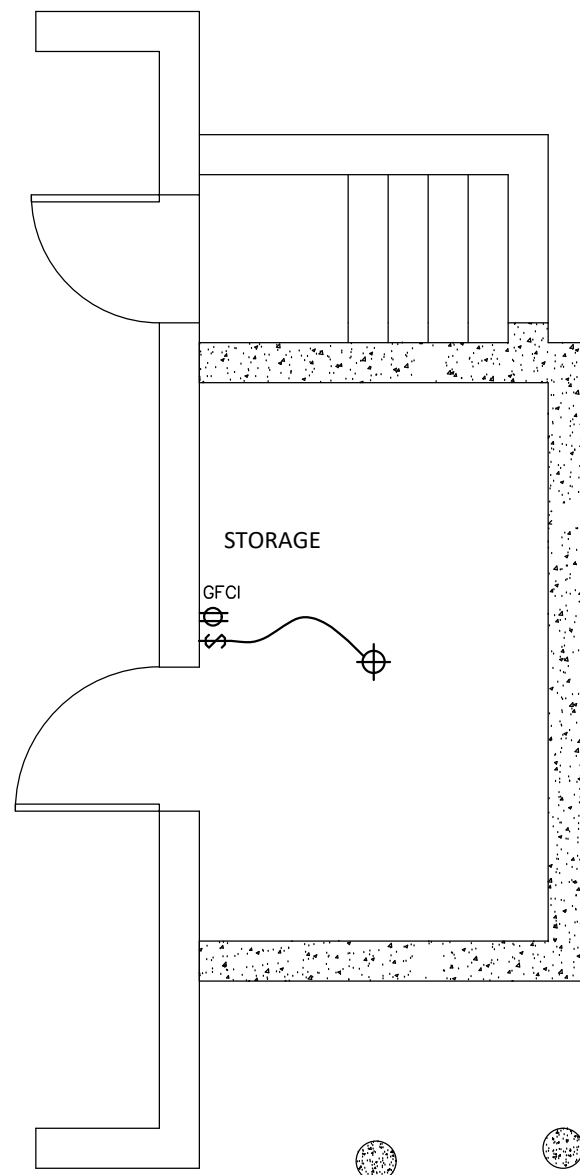
01 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



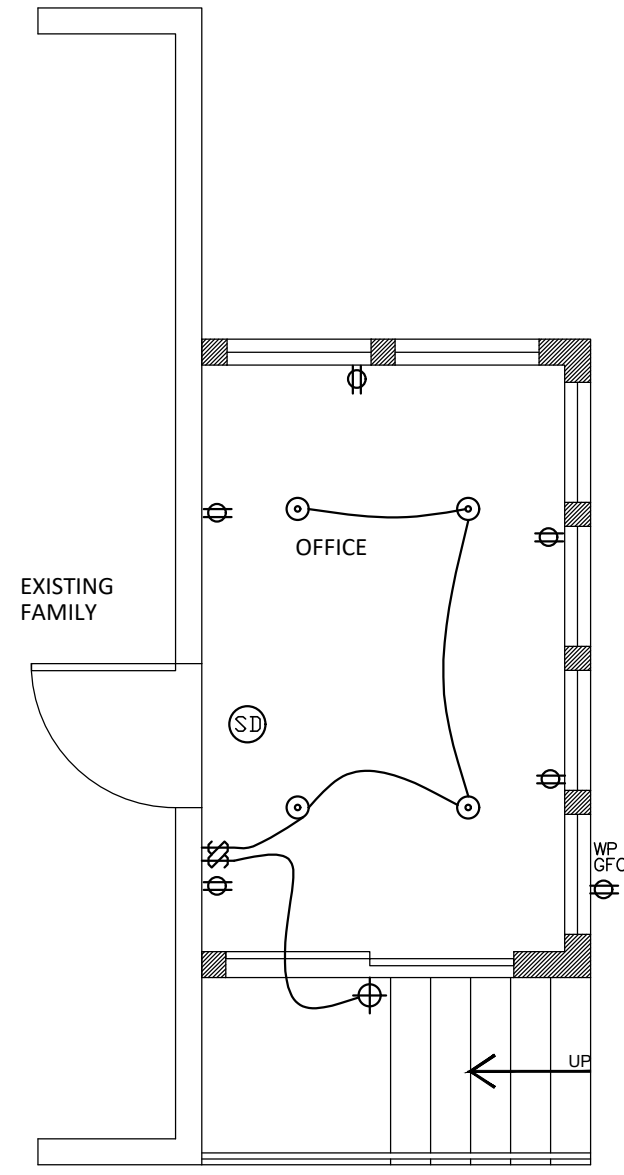
02 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"



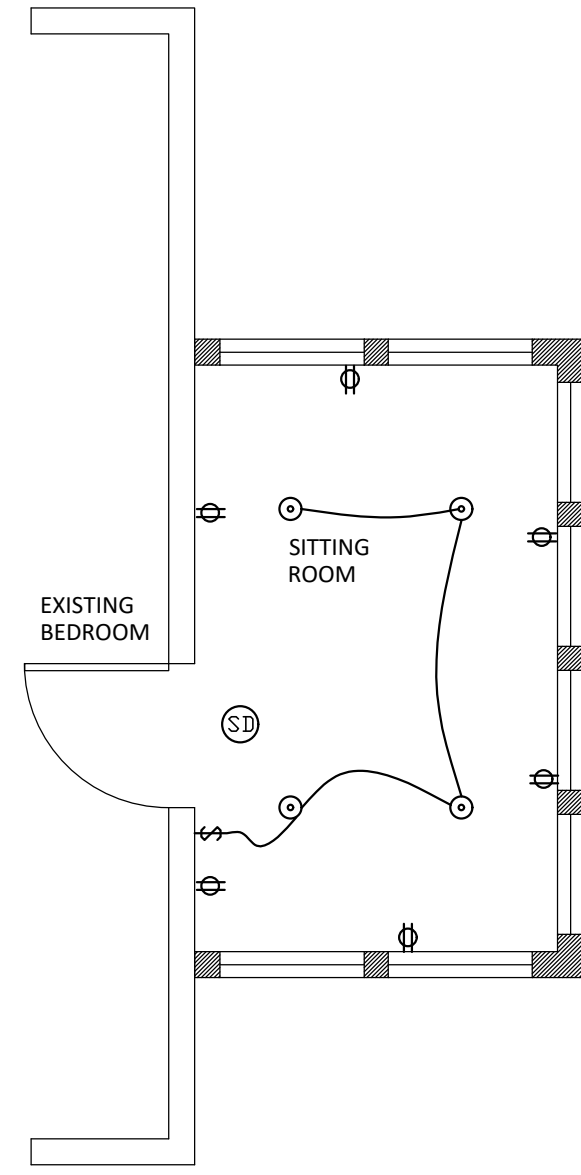
03 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"



04 BSMT ELECTRIC
SCALE: 1/4"=1'-0"



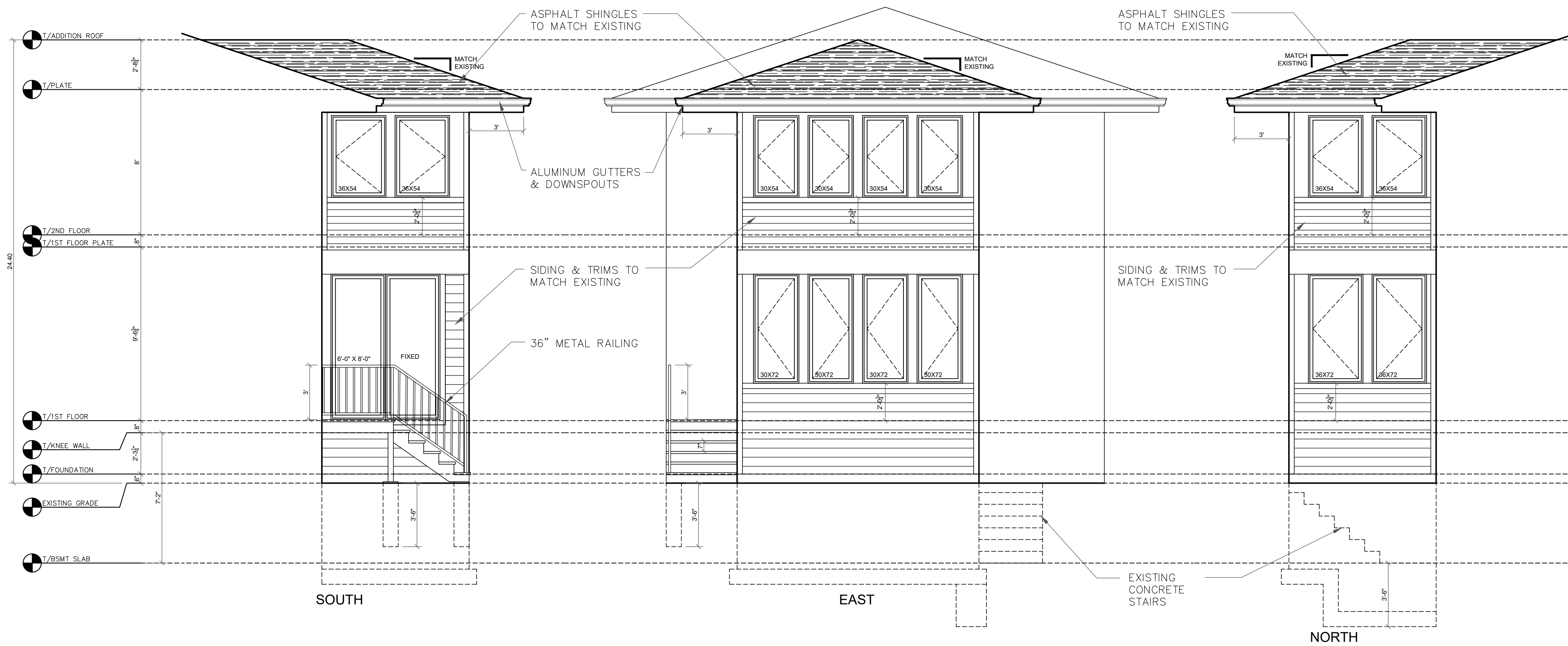
05 1ST FLOOR ELECTRIC
SCALE: 1/4"=1'-0"



06 2ND FLOOR ELECTRIC
SCALE: 1/4"=1'-0"

LIGHT AND VENTILATION SCHEDULE								
ROOM	AREA (S.F.)	ORDINANCE REQUIRED (S.F.)			ACTUAL PROVIDED (S.F.)			NOTES
		NATURAL LIGHT	NATURAL VENT	MECH. EXHAUST	NATURAL LIGHT	NATURAL VENT	MECH. EXHAUST	
OFFICE	92	7.36	3.68		144.00	120.00		
SITTING	92	7.36	3.68		99.00	99.00		

ELECTRIC LEGEND	
	WALL/CEILING MOUNTED LIGHT FIXTURE
	INCANDESCENT CAN LIGHT - DIRECT INSULATION CONTACT TYPE
	LIGHT SWITCH 448" AFF
	RECEPTACLE OUTLET +15" AFF (OUTLETS NOT MARKED W/ "GFCI" TO HAVE ARC-FAULT PROTECTION)
	RECEPTACLE OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER
	WATERPROOF RECEPTACLE OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER
	110 V SMOKE DETECTOR HARDWIRED ON DEDICATED CIRCUIT W/ BATTERY BACKUP



07 ELEVATIONS
SCALE: 1/4"=1'-0"

SHEET NO.

A-2

OF 3 SHEETS

DATE:

07.22.26

08.12.26

RECONSTRUCTION & ADDITION

451 BROADVIEW AVENUE

HIGHLAND PARK, ILLINOIS 60035

TOWN STUDIOS, INC.

1297 SHERMER ROAD

NORTHBROOK, ILLINOIS 60062

PHONE: 847-498-0900

WWW.TOWNSTUDIOS.COM

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From: [Marni Schmidt](#)
To: [Hoffmann, Patrick](#)
Subject: VAR-2026-00075 Michelle Peniak
Date: Sunday, September 13, 2026 8:06:47 PM

[EXTERNAL EMAIL]

To the members of the Highland Park Zoning Board of Appeals:

I live at 445 Broadview Avenue, the home immediately to the south of the Petitioner.

My home and back yard run along side the yard where the proposed project would take place. Our Ravinia neighborhood is one of small yards, close neighbors and challenging street parking.

In spite of these difficulties, I have no objection to the approval of the Appeal for Variation.

The Petitioner has explained the project to me, and I am satisfied that the enclosing of the second floor balcony would not change the home's footprint, and would provide valuable, useful indoor space. There would be no new sightlines to my property, or any of our other neighbors, that would reduce the privacy of our back yards. There is no change to the amount of natural light or shade currently enjoyed by my home and yard. I understand there is no modification required of any trees, utility poles, electrical service wires or fiber optic cables.

The only negative is the temporary inconvenience of some construction noise. Considering the long-term benefit to the homeowners and neighborhood of having an improved property, it is easily tolerated.

I fully support the Board approving the Petitioner's Application for Variation.

Thank you,

Marlene Schmidt
445 Broadview Avenue

From: [J & B Cloud](#)
To: [Hoffmann, Patrick](#)
Subject: Fw: 451 Broadview Construction Application
Date: Wednesday, September 16, 2026 4:07:09 PM

[EXTERNAL EMAIL]

Dear Committee Members,

It has come to our attention that the owners of 451 Broadview have requested approval to construct an addition to the second story of their residence. In their application, the owners state that the proposed construction would not be a "detriment to the neighborhood." We respectfully, but strongly, disagree.

We are the owners of 478 Pleasant Avenue, which is located directly behind 451 Broadview, with only a wooden fence separating the two properties. My wife works from home, and I am retired, so we both spend a significant amount of time in our one-story home. Our primary living space faces the existing deck and the proposed addition.

During the months when the trees have lost their foliage, the existing second-story deck at 451 Broadview is clearly visible from our living area. Our backyard is relatively small, and there is already very little distance between the sliding doors of our primary living space and the rear of the 451 Broadview residence.

The existing second-story deck includes a wall that provides us with a measure of privacy. Based on the documents provided, it appears that a variance was approved years ago that limited the amount of new construction, which resulted in the configuration of the current deck. The proposed variance would now allow for an addition containing large windows that would be positioned closer to our living space and would provide a direct view into our yard and home.

When we purchased our home nearly a decade ago, we understood that the properties in this neighborhood have relatively small yards and that the homes are situated close together. However, the existing configuration of the second-story deck, with the privacy wall and limited direct views toward our property, has allowed us to maintain a reasonable sense of privacy and seclusion. We have enjoyed that privacy for many years.

The proposed addition would significantly change that situation. Large second-story windows overlooking our yard and home would substantially reduce our existing privacy and could negatively affect both our enjoyment of our property and its future resale appeal.

We understand that property owners may wish to improve and expand their homes. However, we believe that the impact of this particular proposal on the neighboring property should be carefully considered. Given the close proximity of the two homes and the direct views that would be created by the proposed addition, we do not believe the project can reasonably be characterized as having no detriment to the neighborhood.

For these reasons, we respectfully request that the Committee deny the requested variance and not approve the proposed second-story addition.

Thank you for your time and consideration of our concerns.

Sincerely,

Brad & Jennie Cloud
478 Pleasant Avenue
Highland Park, IL
60035

From: [Seyed Adnani](#)
To: [Hoffmann, Patrick](#)
Subject: 451 Broad view Ave. Construction
Date: Wednesday, September 16, 2026 5:47:30 PM

[EXTERNAL EMAIL]

Dear Committee Members,

As we understand about construction on 451 Broad view Ave. It will be detrimental to our property, (482 Pleasant Ave, H/P).

Our backyard is very small and we use it most of the time, By adding the second floor on 451 property, our yard will be locked , no view and no privacy. We disagree for any existing deck and addition on 451 building @ second floor.

Best regards. Maryam HajHariri Seyed Adnani