

PUBLIC NOTICE

In accordance with the Statutes of the State of Illinois and the Ordinances of the City of Highland Park, the next regular meeting of the Zoning Board of Appeals of the City of Highland Park is scheduled to be held at the hour of 7:30 P.M. on Thursday, November 20, 2025, at City Hall, 1707 St Johns Avenue, Highland Park, Illinois, during which meeting it is anticipated that there will be a discussion of the following items.

The City, in compliance with the Americans with Disabilities Act, requests that persons with disabilities who require certain accommodations to allow them to observe and/or participate in this hearing, or who have questions about the accessibility of the meeting facilities, contact the City’s ADA coordinator Emily Taub at etaub@cityhpil.com or 847.926.1005.

The City encourages individuals to sign-up for its eNews for important information from the City and its government partners. The City updates its web site daily and also posts on social media daily. To sign-up for the eNews, visit www.cityhpil.com.

At the meeting, it is anticipated that there will be a discussion of the following items:

**CITY OF HIGHLAND PARK
ZONING BOARD OF APPEALS**

Public Hearing
Thursday, 11/20/2025 - 7:30 P.M.
Council Chambers
City Hall, 1707 St Johns Avenue, Highland Park, Illinois

AGENDA

- 1) **Call to Order**
- 2) **Approval of Minutes**
 - a) 11/06/2025 Zoning Board of Appeals Draft Minutes

3) **Business from the Public**

4) **Old Business**

5) **New Business**

- a) **#VAR-2025-00057** | Appellant: Brett Caplan
Property: 1331 Hilary Ln | Address: 1331 Hilary Ln, Highland Park, IL 60035
 Zoning District: R6

The petitioners and owner, Brett Caplan of 1331 Hilary Ln, Highland Park, IL 60035, request by authority of Section 150.1204(A)(4) of the Highland Park Zoning Code, variations of provisions Sections 150.703.3 to construct a screen porch addition that will exceed the allowable Floor Area Ratio.

6) **Staff Report**

7) **Miscellaneous**

- a) Outgoing Member

8) **Adjournment**

1 **MINUTES OF A REGULAR MEETING**
2 **ZONING BOARD OF APPEALS COMMISSION**
3 **OF THE CITY OF HIGHLAND PARK, ILLINOIS**
4
5

6 **MEETING DATE:** Thursday, November 6, 2025
7

8 **MEETING LOCATION:** Council Chambers, City Hall, 1707 St. Johns Avenue, Highland Park, IL
9

10 **CALL TO ORDER**

11 At 7:31 p.m., Chairperson Bay called the meeting to order. This Commission meeting takes place on-site.
12 Staff was asked to call the roll.
13

14 **ROLL CALL**

15 Commissioners Present: Chairperson Bay; Commissioners Aronoff, Chase, Treshansky, Weisberg, Yablon, &
16 Zaransky
17

18 Councilmember Present: Center
19

20 Student Council Absent: Duenow
21

22 Staff declared that a quorum was present.
23

24 Guests Present: Megan Coyle, Architect/Roll Studio LLC
25 Howard Dardick, CEO/Tip Top Builders
26

27 Staff Present: Hoffmann
28

29 Others Present: Gale Cerabona, Recorder
30

31 **APPROVAL OF MINUTES**

32 *Regular Meeting of the Zoning Board of Appeals – October 16, 2025*
33

34 Commissioner Yablon moved to approve the October 16, 2025, regular meeting minutes as drafted.
35 Commissioner Weisberg seconded the motion.
36

37 On a roll call vote

38 Voting Yea Chairperson Bay; Commissioners Aronoff, Chase, Treshansky, Weisberg, Yablon, &
39 Zaransky

40 Voting Nay: None
41

42 Chairperson Bay declared that the motion passed unanimously.
43

44 **BUSINESS FROM THE PUBLIC**

45 There was no Business from the Public.
46

47 **OLD BUSINESS**

48 There was no Old Business.

1
2 **NEW BUSINESS**

3 1. #VAR-2025-00056

4 Property: 2789 Oak Street
5 Zoning District: R4 & R5

Appellant: Megan Coyle, Founder & Architect, Roll Studio LLC
Address: 606 W. Aldine Avenue, 3W, Chicago, IL 60657

6
7 The petitioner, Megan Coyle of Roll Studio LLC, at 606 W. Aldine Avenue, 3W, Chicago, IL 60657, on behalf of
8 the owners Rachel & David Chaimovitz, of 2789 Oak Street, Highland Park, IL 60035, requests by authority of
9 Section 173.030 of the Highland Park Zoning Code, a variation of provision of Section 173.010(C), to exceed
10 the maximum allowable 4' fence-height requirement within a required front yard.

11
12 Planner Hoffmann reviewed the proposal:

- 13 • Project Background
 - 14 ○ R4 & R5
 - 15 ○ new single-family home
- 16 • Site Location (corner lot along the lake; two frontages)
- 17 • Plat of Survey
- 18 • Property Photos
- 19 • Proposed Work
 - 20 ○ proposing a 6' fence when 4' is allowed per code
- 21 • Fence elevations and materials were shown
- 22 • Other Comments
 - 23 ○ two neighbor comments
- 24 • Review

25
26 Chairperson Bay asked about if this were not a corner lot. Planner Hoffmann said if this was an interior lot,
27 the 6' fence would be allowed.

28
29 Chairperson Bay swore in Megan Coyle, Founder & Architect from Roll Studio LLC, who introduced the team
30 and explained the need for the variance. She noted Walker Avenue doesn't function as a normal street. It
31 has a parking lot with a chain-link fence adjacent to and abutting this site. There is a private access drive to
32 Highwood's water-treatment facility. A landscaping buffer and a wall is not being requested. A 4' fence is
33 not high enough; would like privacy. Regarding the standards, this is not detrimental, it doesn't endanger
34 safety or diminish property values. This won't alter the character, is in harmony with the neighborhood, etc.

35
36 Some ZBA comments are.....

- 37 • Chairperson Bay:
 - 38 ○ asked if this fence is uniform all the way around. Ms. Coyle responded not in height due to
 - 39 topography. The style is stone that faces Oak Street then transitions to wood near the
 - 40 Steep Slope Zone/SSZ
 - 41 ○ asked where the driveway/gate is. Ms. Coyle said an auto gate will be there for vehicle
 - 42 access.
 - 43 ○ said the fence appears to be a wall. Ms. Coyle noted it is opaque/solid, and they believe it
 - 44 meets code.
 - 45 ○ asked Staff how it's measured. Planner Hoffmann said it's measured from where it's
 - 46 installed.

- 1 • Commissioner Yablon asked why a 6' fence is needed rather than landscaping. Ms. Coyle said for
- 2 safety and privacy reasons. She noted this family has small children.
- 3 • Commissioner Chase asked if this is a private drive to the north (east of parking lot). Planner
- 4 Hoffmann said there is a fence, so people can't access the water-treatment facility. He illustrated
- 5 and explained same.

6
7 Chairperson Bay swore in Howard Dardick, CEO of Tip Top Builders, who said if this is not granted, the fence
8 would drop down to 4'.
9

10 More ZBA comments are.....

- 11 • Chairperson Bay:
 - 12 ○ asked if the Petitioner has spoken with the neighbors. Ms. Coyle said she has, and feedback
 - 13 is the limitation of use. She said her team believes the views would be enhanced; view
 - 14 should be the same. Open space and trees will be present. The stone fence is being called a
 - 15 wall. It is a unique circumstance and unusual condition.
 - 16 ○ asked about the first standard. Ms. Coyle said it is compatible with existing structures on the
 - 17 property rather than a chain-link fence.
 - 18 ○ asked if this is in Highwood or Ft. Sheridan. Planner Hoffmann said this is still Highland Park.
 - 19 ○ asked if notice had to be provided to neighbors in Highwood. Ms. Coyle said yes, in
 - 20 Highwood and Lake County Forest Preserve Staff.
- 21 • Commissioner Yablon asked if any portion of the wood fence has been built yet. Ms. Coyle said just
- 22 the footings.

23
24 Chairperson Bay asked if anyone in the audience wishes to speak on this matter. The following came
25 forward and were sworn in:

- 26 • Julie Gartner said she lives across the street and expressed it is allowed to be back 40'. Mr. Dardick
- 27 concurred.
- 28
29 • Meno Passini said the parking lot next door is owned by the City of Highland Park. Visitors to the
- 30 park have been parking everywhere. He doesn't have an issue with the 6' fence along Walker
- 31 Avenue. Other neighbors about parks and have a 6' fence to keep people out. Mr. Passini has no
- 32 objections to this being a wall; it is nothing unusual. He noted, when the Temple expanded, a wall
- 33 was suggested. This is desirable, as they want to keep the neighborhood having single-family homes.
- 34 Mr. Passini would appreciate it if the ZBA would offer relief to this Petitioner.

35
36 Final ZBA comments are.....

- 37 • Commissioner Zaransky said this makes a lot of sense; goes with the character. The hardship is the
- 38 unusual lot. There are a lot of municipal vehicles there. It is a functioning side yard.
- 39 • Commissioner Aronoff said the variance is only 2'. He supports this.
- 40 • Commissioner Weisberg concurred.
- 41 • Commissioner Chase:
 - 42 ○ asked if this is a fence. Planner Hoffmann confirmed it is 1' or less and is allowed. He stated
 - 43 there are no design standards for single-family homes.
 - 44 ○ believes the standards have been met. Neighbors believe it fits in. She is in favor.
- 45 • Commissioner Treshansky believes the standards have been met. Neighbors are okay with it.
- 46 • Commissioner Yablon said the standards have been met. The 6' fence would be in perpetuity.
- 47 • Chairperson Bay appreciates the presentation. There is no opposition. He would support this.

1
2 Commissioner Yablon moved to adopt the variance as drafted. Commissioner Treshansky seconded the
3 motion.

4
5 On a voice vote

6 Voting Yea Chairperson Bay; Commissioners Aronoff, Chase, Treshansky, Weisberg, Yablon, &
7 Zaransky

8 Voting Nay: None
9

10 Chairperson Bay declared that the motion passed unanimously.

11
12 **STAFF REPORT**

13 1. 2026 Meeting Resolution

14 Planner Hoffmann advised the April 3, 2026, meeting has been removed from the schedule.

15
16 Commissioner Chase moved to approve the 2026 Meeting Resolution. Commissioner Weisberg seconded
17 the motion.

18
19 On a voice vote

20 Voting Yea Chairperson Bay; Commissioners Aronoff, Chase, Treshansky, Weisberg, Yablon, &
21 Zaransky

22 Voting Nay: None
23

24 Chairperson Bay declared that the motion passed unanimously.
25

26 **MISCELLANEOUS**

27 There are no Miscellaneous items.
28

29 **ADJOURNMENT**

30 Commissioner Zaransky moved to adjourn the meeting at 8:11 p.m. Commissioner Yablon seconded the
31 motion.

32
33 On a voice vote

34 Voting Yea Chairperson Bay; Commissioners Aronoff, Chase, Treshansky, Weisberg, Yablon, &
35 Zaransky

36 Voting Nay: None
37

38 Chairperson Bay declared that the motion passed unanimously.
39

40 Respectfully Submitted,
41

42
43 Gale Cerabona

44 Recorder
45

46 **MINUTES OF OCTOBER 16, 2025, WERE APPROVED WITHOUT CORRECTIONS.**

Date: November 6, 2025
 To: Jami Bay & Zoning Board of Appeals (“ZBA”)
 From: Patrick Hoffmann, Planner II & ZBA Staff Liaison
 Subject: 1331 Hilary Ln Application Summary

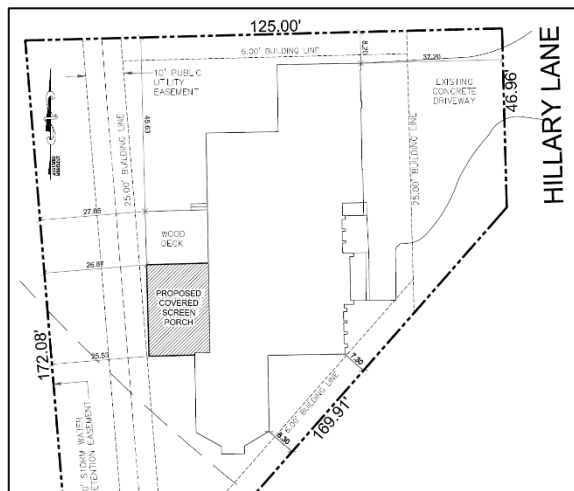
APPLICATION SUMMARY:

The petitioner and owner, Brett Caplan (the “**Applicant**”) located at 1331 Hilary Ln, Highland Park, IL 60035, (the “**Property**”) is seeking approval of zoning variations from Chapter 150 in order to construct a new addition that will exceed the allowable Floor Area Ratio (FAR). The subject property is located within the R6, and meets the minimum area of 7,260 SF. It is a trapezoid shaped interior lot that fronts Hilary Ln. According to the Lake County Assessor, the home was constructed in 2000.

The Applicant seeks relief from Section 150.703.3.(A):

- (i) To exceed the allowable Floor Area Ratio (FAR) of 30.48% (4,080 sq. ft.) for a residence that already exceeds the permitted FAR to construct a 382 sq. ft. addition for a proposed total FAR of 42.69% (5,713.9 sq. ft.);

The applicants’ proposal is to add a one story addition behind the home for an additional 382 SF of space and proposing a new FAR of 42.69 % or 5,713 SF. The maximum FAR for the property is 30.48% or 4,080 SF, however, in 200 the property received an approval from the ZBA, **Approval Order #06-10-VAR-075**, allowing an addition (450 SF) to exceed the allowable



FAR for a new allowable FAR of 35.67% or 4,751 SF. The applicant has confirmed the FAR totals for the existing property as it exceeds what was approved in 2006.

In the event the variation is approved, the Applicant is required to get building permit before construction. This is a request for Chapter 150 zoning variations and requires the ZBA to use the Article 12 Zoning Standards of Approval.

NEIGHBOR & CITY COMMENTS:

- No comments from other City divisions.
- No public comments have been received.

ATTACHMENTS:

- Location Map & Copy of Legal Notice
- Applicants’ Packet
- Approval Order #06-10-VAR-075
- Draft Approval Order¹

¹ All Approval Orders are to be considered draft and are not a recommendation by City Staff. The Board may approve, approve with conditions, deny, or continue an application.



**PUBLIC NOTICE
ZONING BOARD OF APPEALS
CITY OF HIGHLAND PARK, ILLINOIS**

Notice is hereby given that a Public Hearing will be held at City Hall, 1707 St Johns Avenue, in the City of Highland Park, Lake County, Illinois, on Thursday, November 20, 2025, at 7:30 P.M. Said Public Hearing will be conducted by the Zoning Board of Appeals for variation of provisions of the Zoning Ordinance of 1997, being Chapter 150 of the Highland Park Code, as amended.

VAR-2025-00057

Petitioner: Brett Caplan

Zoning District: R6

Subject Property: 1331 Hilary Ln

Highland Park, Illinois 60035

The petitioners and owner, Brett Caplan of 1331 Hilary Ln, Highland Park, IL 60035, request by authority of Section 150.1204(A)(4) of the Highland Park Zoning Code, variations of provisions Sections 150.703.3 to construct a screen porch addition that will exceed the allowable Floor Area Ratio.

The subject property commonly known as 1331 Hilary Ln, Highland Park, Illinois, is legally described as follows:

LOT 20 IN HIGHLAND LAKES SUBDIVISION, BEING A RESUBDIVISION OF LOT 2 AND OUTLOT "A" IN HIGHLAND PARK TOWERS RESUBDIVISION UNIT 1, IN THE SOUTH 1/2 OF SECTION 22, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 10, 1992 AS DOCUMENT 3126572 IN LAKE COUNTY, ILLINOIS

PIN: 16-22-305-029-0000

If you have questions about the application, public hearing, or any other questions, you may contact Patrick Hoffmann, Planner II, with the Community Development Department, by email at phoffmann@cityhpil.com or by phone at 847.926.1612.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, special use permits, variations, map or text amendments, or other special approvals.

Any person who also desires to appear as an "interested party" with the right to cross-examine others at the hearing must complete and file an appearance form with the Highland Park City Clerk at the Highland Park City Hall, 1707 St Johns, Highland Park, Illinois, no later than three business days before the date of the hearing. Appearance forms are available at the Finance Department on the first floor of the Highland Park City Hall, 1707 St Johns, Highland Park, Illinois, during regular business hours.

The City, in compliance with the Americans with Disabilities Act, requests that persons with disabilities who require certain accommodations to allow them to observe and/or participate in this hearing, or who have questions about the accessibility of the meeting facilities, contact the City's ADA coordinator Emily Taub at etaub@cityhpil.com or 847.926.1005.

Zoning Board of Appeals
Jami Bay, Chairman


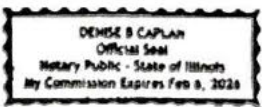
Zoning Variance Request Application



SUBJECT PROPERTY INFORMATION	
Property Address: 1331 HILARY LANE	
Property's Current Zoning: R6	Property's Current Use: SINGLE FAMILY RESIDENCE
Lot/Tract Area (SF): 13384.43	Minimum Lot Area for Applicable Zoning District (SF): 7260
Legal Description (note if attached): SEE PLAT OF SURVEY	
Brief Project Description: NEW SCREEN PORCH & DECK ADDITION	

FOR INTERNAL USE ONLY
Case #:
Date Received:
Hearing Date:
Fee Paid:
Third Party Deposit:

PETITIONER & OWNER INFORMATION	
Petitioner	
Applicant's Name:	Brett Caplan
Address (City, State, ZIP):	1331 Hilary Lane, Highland Park, IL 60035
Owner	
Property Owner's Name (if the Petitioner is not the legal owner of the property):	
Address (City, State, ZIP):	
Attorney or Representative Counsel	
Contact Name:	
Address (City, State, ZIP):	
Architect/Builder	
Contact Name:	
Address (City, State, ZIP):	

PROPERTY OWNER SIGNATURE	
<p>The undersigned acknowledges and agrees that they are familiar with, have read and reviewed, and understand, all laws and regulations applicable to this application and the requested license/permit/authorization, including, without limitation, Chapter 150 of the City Code. The undersigned further agrees that the applicant complies with any and all eligibility requirements for the requested license/permit/authorization, and that the applicant will comply with all applicable laws and regulations with respect to the requested license/permit/authorization.</p>	
 Property Owner	10/27/2025 Date
Sworn to before me this <u>27</u> day of <u>October</u> , 20 <u>25</u> .	Sworn to before me this ____ day of _____, 20____.
 Notary	Notary

PROJECT INFORMATION

Height Calculations (see: "Useful Definitions" sheet)

Maximum Allowable Height per Zoning District (feet): 30.00	Maximum Height of Proposed Structure (feet): 15.35
Floor Area Ratio (F.A.R.) Calculations (see: "Useful Definitions" sheet)	
Allowable Floor Area (SF): 4080	Allowable F.A.R. (%): 30.48
Total Existing Floor Area (SF): 5332.07	Existing F.A.R. (%): 39.84
Area of Addition or Garage (SF): 381.83	Proposed F.A.R. (%): 2.85
Total Proposed Floor Area (SF): 5713.90	F.A.R. = Floor Area / Lot Size 42.69

REQUESTED VARIANCES

Fill in all sections that apply. Sections marked with an asterisk (*) require additional review.

Front Yard Encroachment

Note as many as apply - corner lots have two front yards, one on each street frontage

Front Yard Encroachment 1

Minimum Front Yard Setback (feet):	Encroachment into the minimum front yard (feet):
Established Building Setback (feet):	Encroachment into the established building (feet):

Front Yard Encroachment 2 (Corner lot)

Minimum Front Yard Setback (feet):	Encroachment into the minimum front yard (feet):
Established Building Setback (feet):	Encroachment into the established building (feet):

Subdivision Setback

Encroachment*

Neighbor approval required - Sec. 150.1202(D)

Subdivision Setback (feet):

Encroachment into Subdivision Setback (feet):

Height*

(Requires Compere Referral)

Permitted Height (feet):

Proposed Height (feet):

Side Yard Encroachment

Lot width (feet):

Minimum Side Yard Setback (feet):	Encroachment into the minimum side yard (feet):
Minimum Side Yard Setback (feet):	Encroachment into the minimum side yard (feet):
Minimum Combined Side Yard Setback (feet):	Encroachment into the total combined side yard (feet):

Steep Slope Encroachment*

Requires review by the Sustainability Advisory Group and additional submission materials

Applicable Steep Slope Setback (check):

- 10'
- 40'
- Special Steep Slope

Encroachment into Steep Slope Setback (feet):

Fence

Maximum permitted fence height (feet):

Proposed fence height (feet):

Fence will exceed permitted fence height by (feet/%):

Lot Coverage

Applicable for Multi-Family Zoning Districts

Permitted Lot Coverage (SF):

Proposed Lot Coverage (SF):

Structure will exceed permitted Lot Coverage by (SF/%):

Rear Yard Coverage

Rear Yard Area (SF):

Area of structures in Rear Yard (SF):

Structure will exceed permitted Rear Yard Lot Coverage by (SF/%):

F.A.R

Amount by which the structure will exceed maximum F.A.R. (% and SF):

1633.90 SF (12.21%)

Other

Please specify:

Brett Caplan

1331 Hilary Lane
Highland Park, IL 60035
October 13, 2025

Zoning Board of Appeals

City of Highland Park
1707 St. Johns Avenue
Highland Park, IL 60035

Subject: Request for Zoning Variance – Screened Porch Construction

Dear Members of the Zoning Board of Appeals,

I am writing to respectfully request approval of a zoning variance for my property located at 1331 Hilary Lane in Highland Park, Illinois. The proposed project involves constructing a screened-in porch attached to the rear of my existing single-family residence. This improvement is intended to provide a safe, enclosed outdoor space for year-round enjoyment while maintaining the architectural character of the home and surrounding neighborhood.

The porch will exceed the maximum allowable FAR by approximately **1,633.90 square feet**, resulting in a **12.21% overage beyond the allowable lot coverage** under the current zoning ordinance. This variance is the only relief being requested; all other dimensional requirements, including setbacks and height, will remain compliant.

Alternatives Considered:

- **Reducing Porch Size:** A smaller porch was considered; however, reducing the footprint would compromise functionality and safety, making it unsuitable for intended family use.
- **Unscreened Deck or Patio:** An open deck or patio was explored as an alternative, but these options do not provide protection from insects or weather, defeating the purpose of creating a usable outdoor space.
- **Relocation:** Relocating the porch to another part of the property was not feasible due to existing structures, landscaping, and compliance with setback requirements.

Each alternative either fails to meet the intended purpose or introduces new compliance issues.

Hardship if Variance is Denied:

Strict enforcement of the zoning ordinance would impose a practical difficulty and particular hardship because:

- The property’s existing configuration and lot shape limit options for expansion without exceeding coverage limits.
- The inability to construct the porch would significantly reduce the property’s usability and enjoyment, particularly for outdoor living in a climate where screened protection is essential.
- The proposed porch does not negatively impact neighboring properties, public welfare, or the intent of the zoning ordinance, which is to preserve neighborhood character and prevent overcrowding.

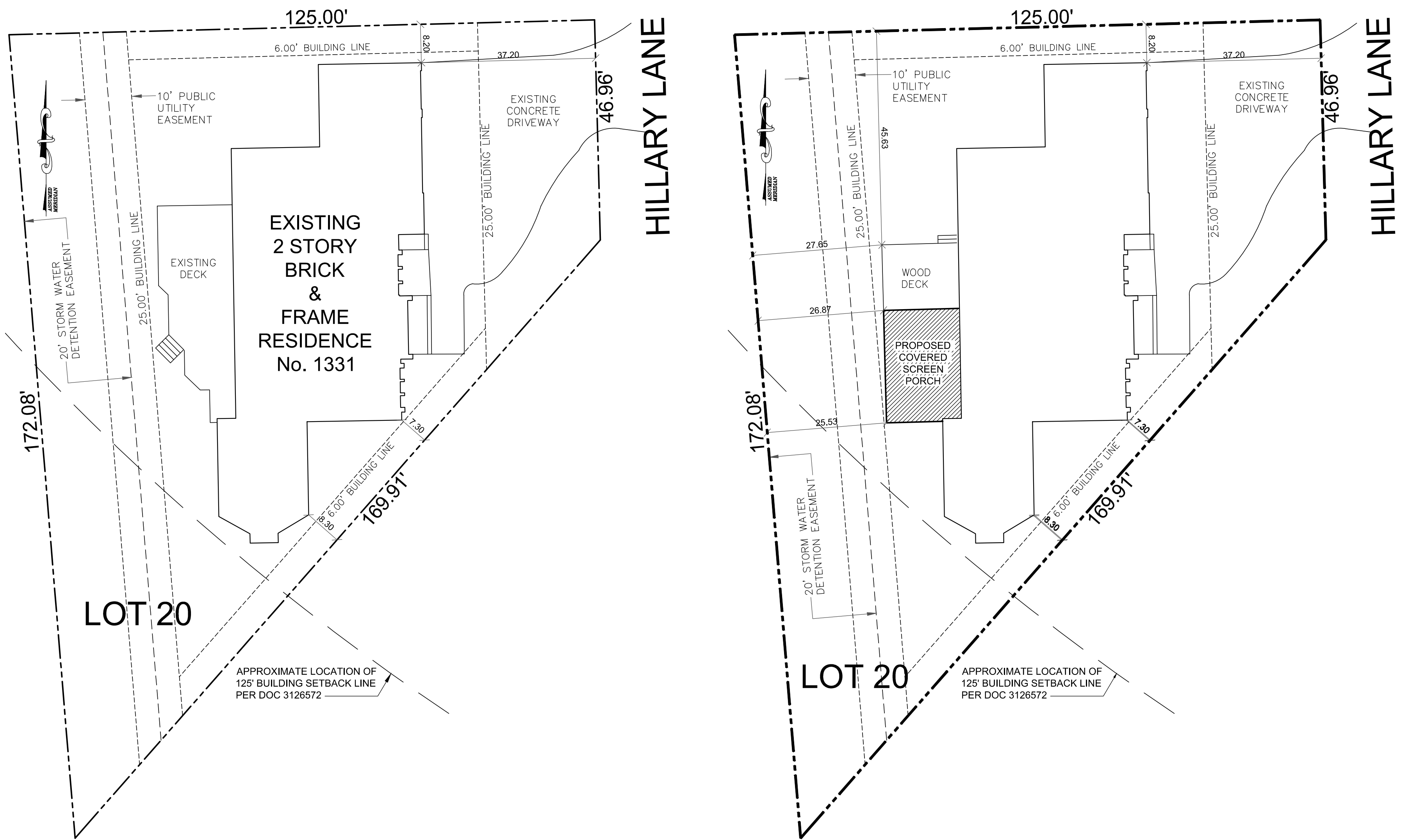
Without the variance, I cannot reasonably achieve the intended improvement, resulting in diminished property functionality and value.

Conclusion:

The requested variance is the minimum necessary to allow construction of the screened porch while maintaining compliance with all other zoning requirements. The project aligns with the spirit and intent of the Highland Park Zoning Code and will not adversely affect adjacent properties or the community.

Thank you for your consideration of this request. [REDACTED]

Sincerely,
Brett Caplan



01 EXISTING SITE PLAN
SCALE: 1/16"=1'-0"

02 PROPOSED SITE PLAN
SCALE: 1/16"=1'-0"

CONSTRUCTION NOTES

- ALL NEW CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES W/ ALL CITY OF HIGHLAND PARK AMENDMENTS.
- PROVIDE TREATED 2X SILL PLATE AGAINST CONCRETE.
- PROVIDE MINIMUM 3/4" TONGUE AND GROOVE PLYWOOD FOR ALL FLOOR SHEATHING.
- PROVIDE COLLAR TIES @ 4'-0" O.C. (MIN)
- PROVIDE STUD FRAMING AT 16" O.C.
- PROVIDE 1/2"(MIN) PLYWOOD OR LET-IN SWAY BRACING AT ALL CORNERS AND EVERY 25 LF. ON EXTERIOR WALLS
- HANDRAILS - HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, AND SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS AND WINDERS SHALL HAVE THE REQUIRED HANDRAIL LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
- HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1/2" BETWEEN THE WALL AND THE HANDRAIL.
- ALL PORCHES, STEPS, AND GARAGE FLOOR SLABS SHALL BE A MINIMUM THIRTY-FIVE HUNDRED (3500) PSI AND A MINIMUM FIVE PERCENT (5%) AND A MAXIMUM SEVEN PERCENT (7%) AIR ENTRAINED.
- CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED.
- EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 16 GAGE AND 1 1/2 INCHES (1 1/2") WIDE FASTENED TO EACH PLATE.
- EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE.
- WOOD SILL PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE RATED FOR ROT AND TERMITES.
- PROVIDE TWO 2X12'S WITH 1/2" PLYWOOD HEADERS OVER ALL EXTERIOR OPENINGS AND ALL INTERIOR OPENINGS IN BEARING WALLS UNLESS OTHERWISE NOTED.
- PROVIDE THREE 2X4'S MINIMUM AT EACH END OF ALL WOOD BEAMS, HEADERS, AND GIRDER TRUSSES CONTINUOUS TO CONCRETE FOUNDATION OR STRUCTURAL STEEL UNLESS NOTED OTHERWISE.
- PROVIDE MINIMUM 1/2" EXTERIOR SHEATHING OVER ALL EXTERIOR WALLS.
- PROVIDE 15LB FELT OR OTHER APPROVED WEATHER RESISTANT MEMBRANE OVER ALL EXTERIOR SHEATHING.
- RAFTERS AND CEILING JOISTS SHALL BE SUPPORTED LATERALLY BY SOLID BLOCKING, DIAGONAL BRIDGING (WOOD OR METAL) AT INTERVALS NOT EXCEEDING 10'-0" WHERE FINISHED CEILING IS APPLIED.
- PROVIDE MINIMUM 1/2" EXTERIOR GRADE PLYWOOD FOR ALL ROOF SHEATHING.
- ROOF UNDERLAYMENT - 2:12 TO LESS THAN 4:12 SLOPE - APPLY 2 LAYERS OF 15 LB. FELT CEMENTED OR APPROVED SELF ADHERED MEMBRANE ROOF UNDERLAYMENT EXTENDING MINIMALLY FROM EAVE TO A LINE 24" INSIDE THE EXTERIOR WALL. INSTALL 2 LAYERS OF 15LB. FELT ON REMAINDER OF ROOF. ROOF UNDERLAYMENT - 4:12 AND OVER - APPLY 1 LAYER OF 40LB FELT OR APPROVED MEMBRANE ROOF UNDERLAYMENT EXTENDING MINIMALLY FROM EAVE TO A LINE 12" INSIDE THE EXTERIOR WALL. INSTALL 1 LAYER OF 15LB FELT ON REMAINDER OF ROOF.
- PROVIDE BRIDGING FOR ALL FLOOR JOISTS EIGHT (8) FEET ON CENTER.
- PROVIDE APPROVED CORROSION RESISTANT FLASHING AT TOP AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS.
- CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED.
- EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 16 GAGE AND 1 1/2 INCHES (1 1/2") WIDE FASTENED TO EACH PLATE.
- EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE.
- ALL STAIRS WITH FOUR OR MORE RISERS SHALL HAVE A CONTINUOUS, GRASPABLE HANDRAIL INSTALLED ON AT LEAST ONE SIDE OF THE STAIRWAY.
- WOOD FRAMING MEMBERS ADJACENT TO CONCRETE WALLS BELOW GRADE, SHALL EITHER BE PRESERVATIVE TREATED WOOD, OR SHALL HAVE AN AIR GAP BETWEEN THE FRAMING MEMBERS AND THE CONCRETE WALLS OR SHALL HAVE AN APPROVED VAPOR RETARDER APPLIED BETWEEN THE CONCRETE WALL AND THE FRAMING MEMBERS.

FRAMING NOTES & MATERIAL SPECIFICATIONS

- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- SPLIT DOUBLE JOISTS TO ACCOMMODATE PLUMBING, HVAC, ETC.
- PROVIDE SOLID BLOCKING UNDER ALL PERPENDICULAR PARTITIONS.
- ALL STRUCTURAL HEADERS TO BE (2) 2X12'S W/ 3" PLYWOOD U.N.O.
- PROVIDE STEEL JOIST HANGERS AS REQUIRED. INSTALL & NAIL HANGERS PER MANUFACTURER'S SPECIFICATIONS.
- ALL BEARING POINTS TO BE (3) 2X4'S U.N.O. BEARING DIRECTLY TO FOUNDATION, STEEL, OR OTHER APPROVED HEADER.
- ALL WOOD IN CONTACT W/ CONCRETE TO BE TREATED.
- PROVIDE BRIDGING FOR 2X FLOOR JOISTS @ 8'-0" O.C.
- PROVIDE BRIDGING FOR 2X CEILING JOISTS @ 10'-0" O.C.
- PROVIDE BRIDGING FOR 2X RAFTERS IN VAULTED CEILINGS @ 10'-0" O.C.
- PROVIDE COLLAR TIES FOR RAFTERS @ 32" O.C.
- INSTALL FABRICATED WOOD PRODUCTS PER MANUFACTURER'S SPECIFICATIONS.
- ALL WOOD IN CONTACT W/ CONCRETE TO BE TREATED.
- PROVIDE DOUBLE JOISTS UNDER MASTER BATH TUB & SHOWER.
- PROVIDE DOUBLE JOISTS UNDER KITCHEN COUNTERS & ISLANDS.
- ALL FRAMING LUMBER TO BE SPF#2 (OR BETTER). Fb=1289psi.
- DESIGN LOADS:
FLOOR JOISTS:
40 PSF LIVE LOAD, 20 PSF DEAD LOAD
CEILING JOISTS: 20 PSF LIVE LOAD
RAFTERS: 30 PSF LIVE LOAD, 15 PSF DEAD LOAD
GROUND SNOW LOAD: 30 PSF
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF C=3,000 PSI
- ALL REINFORCEMENT STEEL SHALL BE ASTM GRADE 60 Fy=60KSI
- ALL PORCH WOOD TO BE TREATED.

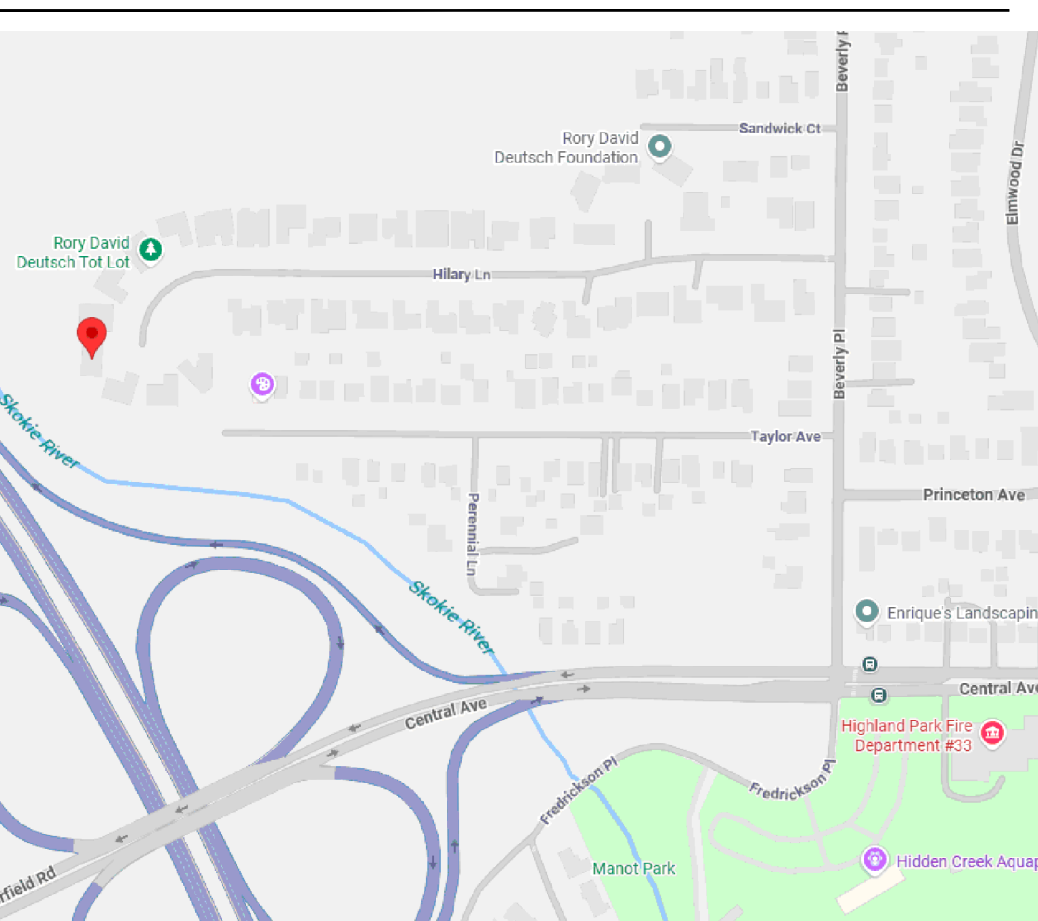
ADDITIONAL CONSTRUCTION NOTES

- WOOD POSTS SUPPORTING A DECK SHALL BE ANCHORED TO CONCRETE FOOTINGS ABOVE GRADE BY AN APPROVED MANUFACTURED POST CONNECTOR PER CITY OF HIGHLAND PARK AMENDMENT TO 2018 IRC, SECTION R507.4.1
- DECK BEAM CONSTRUCTION SHALL BE IN ACCORDANCE TO 2018 IRC, SECTION R507.5. MAXIMUM ALLOWABLE SPANS FOR WOOD DECK BEAMS SHALL BE IN ACCORDANCE WITH 2018 IRC, TABLE R507.5.
- LEDGERS SHALL BE A MINIMUM 2-INCH BY 8-INCH NOMINAL, PRESSURE-PRESERVATIVE TREATED SOUTHERN PINE, INCISED PRESSURE-PRESERVATIVE HEM-FIR, OR APPROVED, NATURALLY DURABLE, NO. 2 GRADE OR BETTER LUMBER. DECK LEDGERS SHALL NOT SUPPORT CONCENTRATED LOADS FROM BEAMS OR GIRDERS. DECK LEDGERS SHALL NOT BE SUPPORTED ON STONE OR MASONRY VENEER UNLESS USED WITH APPROVED CONNECTORS. 2018 IRC SECTION R507.9.1.1.
- APPROVED FLASHING SHALL BE INSTALLED AT THE TOP AND BOTTOM OF LEDGER BOARDS.
- STAIR CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R311.7.5 (MAX. 7-3/4" RISER HEIGHT, MIN. 10" TREAD DEPTH AND THE MAX. HEIGHT DIFFERENCE BETWEEN THE GREATEST AND SMALLEST RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED 3/8").
- GUARDRAIL CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R312.1 (MIN. 36" HIGH GUARDRAIL AND WITH BALUSTER SPACING SO AS NOT TO ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER).
- DECK AND GUARDRAIL FRAMING SHALL BE CAPABLE OF SUPPORTING LOADS PER 2018 IRC, SECTION R301.5 (MIN. 38" ABOVE TREAD NOSING), AND OF WOOD CONSTRUCTION HAVING DECAY PROTECTION PER SECTION R317.
- ALL HARDWARE AND FASTENERS TO BE CORROSION RESISTANT PER 2018 IRC, SECTION R317.3.
- HANDRAIL CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R311.7.8 - HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH 4 OR MORE RISERS, HANDRAIL HEIGHT SHALL COMPLY WITH SECTION R311.7.8.1 (MIN. 34" TO MAX. 38" ABOVE TREAD NOSING), HANDRAIL ENDS SHALL COMPLY WITH SECTION R311.7.8.4 AND HANDRAIL GRIP SIZE SHALL COMPLY WITH SECTION R311.7.8.5.
- OUTDOOR GFI RECEPTACLES TO COMPLY WITH 2017 NEC, ARTICLES 406.9(B)(1) AND 406.9(B)(2) FOR WEATHER PROOF COVER.
- SCREEN PORCH: INSECT SCREENING SHALL NOT BE CONSIDERED TO BE A GUARD PER 2018 IRC, SECTION R312.1.1.

ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL BE DONE PER THE APPLICABLE CODE W/ ALL CITY OF HIGHLAND PARK AMENDMENTS.
- PROVIDE RECEPTACLE OUTLETS 12 FEET ON CENTER, INCLUDING ANY WALL SPACE TWO (2) FEET OR MORE IN WIDTH AND ALL SPACE OCCUPIED BY SLIDING PANELS IN EXTERIOR WALLS.
- LAYOUT IS DIAGRAMMATIC AND CONTRACTOR SHALL INSTALL WORK TO MEET FIELD CONDITIONS. EXACT LOCATION OF FIXTURES AND RECEPTACLES, AND SWITCHES TO BE APPROVED BY THE OWNER. VERIFY ALL CONDITIONS SUCH AS DUCT SYSTEMS AND COORDINATE WITH WORK OF OTHER TRADES.
- ALL MATERIALS SHALL BE NEW AND UL APPROVED.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROPER LABELLING OF NEW CIRCUITS AT PANEL.
- PROVIDE WATERPROOF PLASTIC LENS COVERS FOR RECESSED LIGHTS ABOVE SHOWER AND BATH TUB.
- ALL GROUNDING SHALL CONFORM TO NEC AND LOCAL AUTHORITY REQUIREMENTS.
- PROVIDE GROUND FAULT INTERRUPTED OUTLETS IN ALL WATER USE AREAS, AS PER CODE.
- PROVIDE G.F.C.I. OUTLETS AT ALL KITCHEN COUNTERS, BATHROOMS, EXTERIOR, GARAGE, UNFINISHED BASEMENT LOCATIONS AND OUTLETS WITHIN SIX (6) FEET OF WET BAR SINK. A SEPARATED 20 AMP CIRCUIT IS REQUIRED FOR EACH BATHROOM.
- PROVIDE AT LEAST ONE WALL SWITCHED/ CONTROLLED LIGHTING OUTLET IN EVERY HABITABLE ROOM, INCLUDING BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGE, DETACHED GARAGES AND AT OUTDOOR ENTRANCES OR EXITS.
- 3 & 4 WAY SWITCHES SHALL BE INSTALLED AT ALL ENTRY/EXIT POINTS IN ALL ROOMS AND HALLWAYS WITH MORE THAN 1 MEANS OF ENTRY.
- ALL PERMANENTLY INSTALLED LIGHTING FIXTURES, EXCLUDING KITCHEN APPLIANCE LIGHTING FIXTURES, SHALL CONTAIN ONLY HIGH-EFFICIENCY LIGHTING SOURCES- PER 2021 IECC, SECTION R404.1
- ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING CEILING FANS.
- ALL AVAILABLE GROUNDING ELECTRODES SHALL BE BONDED TO THE ELECTRIC SERVICE. THIS WILL INCLUDE THE CONCRETE ENCASED ELECTRODE IN THE FOOTING.
- ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE WHIRLPOOL TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER NO SMALLER THAN NO. 8 SOLID.
- ALL AVAILABLE GROUNDING ELECTRODES ARE BONDED TO THE ELECTRIC SERVICE. THIS WILL INCLUDE THE CONCRETE ENCASED ELECTRODE IN THE FOOTING/FOUNDATION.
- EXTERIOR LIGHTING SHALL COMPLY WITH HIGHLAND PARK ZONING ORDINANCE, SECTION 150.605
- OUTDOOR GFI RECEPTACLES TO COMPLY WITH 2017 NEC, ARTICLES 406.9(B)(1) AND 406.9(B)(2) FOR WEATHER PROOF COVER.

PROJECT LOCATION



APPLICABLE CODES

- 2018 INTERNATIONAL BUILDING CODE FOR 1 & 2 FAMILY DWELLINGS
- 2017 NATIONAL ELECTRICAL CODE
- CURRENT EDITION STATE OF ILLINOIS PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2018 INTERNATIONAL FIRE CODE

ALL CODES W/ CITY OF HIGHLAND PARK AMENDMENTS

GENERAL NOTES

- CONTRACTOR SHALL PROCEED WITH THE UNDERSTANDING AND AGREEMENT THAT A SATISFACTORY JOB OBTAINABLE WITH THE INFORMATION AS PROVIDED. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DIMENSIONAL ACCURACY. ALL DIFFERENCES IN ANTICIPATED DIMENSIONS OR CONDITIONS SHALL BE IMMEDIATELY SUBMITTED IN WRITING TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OR CONTRICTION OF WORK OR THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAME. ANY DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF ARCHITECT SHALL BE THE RESPONSIBILITY OF OWNER AND SHALL NULLIFY AND VOID ANY ARCHITECTURAL CONDITION.
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS OF EXISTING CONSTRUCTION IN THE FIELD. PLANS OF NEW AND EXISTING CONSTRUCTION SHALL NOT BE SCALED. DUE TO THE NATURE OF CONSTRUCTION, THE WRITTEN DIMENSIONS DEPICTED MAY VARY SLIGHTLY FROM ACTUAL CONDITIONS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO MAKE ALL FINAL MEASUREMENTS AND FIELD ADJUSTMENTS PRIOR TO ORDERING MATERIALS AND COORDINATING LABOR.
- DUE TO THE NATURE OF CONSTRUCTION, THESE DRAWINGS MAY NOT DEPICT EVERY PIECE OF MATERIAL AND ALL LABOR REQUIRED FOR CONSTRUCTION. THE GENERAL CONTRACTOR IS TO PROVIDE AN ALLOWANCE OR CONTINGENCY FUND TO COVER SUCH UNFORESEEN CONDITIONS OR PLAN MISINTERPRETATIONS. BY PROCEEDING WITH CONSTRUCTION, THE GENERAL CONTRACTOR/BUILDER, SUB-CONTRACTOR AGREE AND ARE SATISFIED WITH THESE PLANS AS BEING ADEQUATE TO CONSTRUCT THE PROJECT AS INTENDED.
- THE CONTRACTOR SHALL SUBMIT WRITTEN NOTICE TO THE ARCHITECT AND OWNER IF DISCREPANCIES EXIST.
- BEFORE SUBMITTING PROPOSALS FOR THIS WORK, EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE BUILDING SITE AND SATISFIED HIMSELF/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH THEY WILL BE OBLIGED TO OPERATE IN PERFORMING THEIR PART OF THE WORK, OR THAT IN ANY MANNER AFFECT THE WORK UNDER CONTRACT.
- ALL FEDERAL AND ILLINOIS HEALTH AND SAFETY ACTS SHALL BE INCORPORATED INTO THE GENERAL SPECIFICATIONS. ANY CONTRACTOR OR EMPLOYEE THEREOF REFUSING TO COMPLY WITH THE SAFETY STANDARDS SET FORTH IN THE ACTS SHALL BE DISMISSED FROM THE JOB SITE. ANY FINES LEVIED BY THE STATE OR FEDERAL OSHA OFFICERS SHALL BE PAID BY THE SUBCONTRACTOR.
- FURNISH ALL LABOR, MATERIALS, TOOLS, INSURANCE AND PERMITS NECESSARY TO COMPLETE THE WORK AS SHOWN AND AS REASONABLY IMPLIED BY THE DRAWINGS, SPECIFICATIONS, NOTES AND REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- EACH SUBCONTRACTOR IS RESPONSIBLE FOR THE ACTION AND SUPERVISION OF HIS/HER EMPLOYEE, AS WELL AS THE QUALITY AND SAFETY OF LADDERS, SCAFFOLDS, AND ANY CONSTRUCTION TOOLS OR STRUCTURES USED OR ERECTED AT THE JOB SITE. ALL EMPLOYEES ARE TO HAVE MEDICAL WORKER'S COMPENSATION AND LIABILITY COVERAGE UNDER THE INSURANCE POLICIES OF THEIR EMPLOYERS.
- THE PROPERTY OWNER, GENERAL CONTRACTOR, AND SUB-CONTRACTORS UNDERSTAND AND AGREE THAT THE ARCHITECT IS NOT TO PROVIDE ANY SITE SUPERVISION OR SITE VISITATION. THE OWNER, GENERAL CONTRACTOR, AND SUB-CONTRACTORS ARE SOLELY RESPONSIBLE FOR SITE CONDITIONS, CONSTRUCTION PROCEDURES, AND SCHEDULING AND MATERIAL INSTALLATION AT THIS JOB.
- EACH SUBCONTRACTOR SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR AND PROPERTY OWNER OF ANY PERCEIVED HAZARD TO LIFE, HEALTH OR PROPERTY (OR ANY POTENTIALLY DANGEROUS SITUATION), WHICH MAY DEVELOP DURING THE COURSE OF CONSTRUCTION. WORK SHALL BE HALTED UNTIL SUCH HAZARDS ARE ELIMINATED.
- ALL MATERIALS AND PRODUCTS ARE TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS FOR COMPARABLE EXISTING CONDITIONS.
- FACTORY BUILT FIREPLACE MANUFACTURER'S SPECIFICATIONS AND PRECAUTIONS BEFORE COMMENCING WORK.
- GENERAL CONTRACTOR SHALL PROTECT ADJACENT AREAS AND PROPERTIES NOT IN CONTRACT.
- EACH CONTRACTOR OR SUBCONTRACTOR IN SIGNING THEIR CONTRACT GUARANTEES THEIR WORK FOR A PERIOD OF 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL LEAVE THE WORK IN PERFECT ORDER UPON COMPLETION. NEITHER THE FINAL CERTIFICATE OF PAYMENT NOR ANY PROVISION IN THE CONTRACT DOCUMENTS SHALL RELIEVE THE CONTRACTOR OR SUB-CONTRACTOR OF THE RESPONSIBILITY FOR NEGLIGENCE, FAULTY MATERIALS, OR WORKMANSHIP, WITHIN THE EXTENT AND PERIOD PROVIDED BY LAW.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO SUPPLY THE OWNER WITH CERTIFICATES OF INSURANCE PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING WITH OWNER THE INSTALLATION REQUIREMENTS OF ALL FURNISHED ITEMS.
- INSTALLATION DETAILS, ALONG WITH ANY OTHER SPECIALIZED EQUIPMENT/ APPLIANCE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS, SHALL BE MADE AVAILABLE TO THE BUILDING OFFICIAL AT TIME OF ROUGH FRAMING INSPECTION.

DRAWING INDEX

- A1 EXISTING SITE PLAN
PROPOSED SITE PLAN
PROJECT LOCATION
NOTES
- A2 FOUNDATION PLAN
FIRST FLOOR PLAN
FIRST FLOOR DEMOLITION PLAN
FIRST FLOOR ELECTRICAL PLAN
- A3 EXISTING NORTH ELEVATION
PROPOSED NORTH ELEVATION
EXISTING SOUTH ELEVATION
PROPOSED SOUTH ELEVATION
- A4 EXISTING WEST ELEVATION
PROPOSED WEST ELEVATION
- A5 FIRST FLOOR FRAMING PLAN
HEADER PLAN
ROOF FRAMING PLAN
TYPICAL WALL SECTION

ZONING INFORMATION

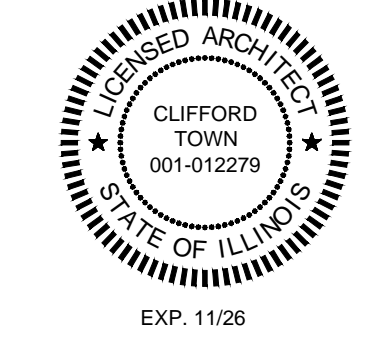
ZONED = R-6
REQ'D BUILDING SETBACKS:
FRONT = 25.00'
SIDE = 6.00' MIN
REAR = 25.00'
MAXIMUM BUILDING HEIGHT
AVG. EXISTING GRADE TO T/ROOF = 32.00'

FLOOR AREA CALCULATIONS

ZONED	= R-6
LOT AREA	= 13384.43
EXISTING FLOOR AREA	= 5332.07 (39.84%)
PROPOSED ADDITION	= 381.83 (2.85%)
TOTAL PROPOSED	= 5713.90 (42.69%)
MAX. ALLOWABLE	= 4080.00 (30.48%)

I, CLIFFORD TOWN, CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS CONFORM TO THE 2018 IECC PRESCRIPTIVE REQUIREMENTS FOR A SINGLE FAMILY RESIDENCE IN CLIMATE ZONE 5.

A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES, U-FACTORS, TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT, AS WELL AS THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING, PER 2021 INTERNATIONAL ENERGY CONSERVATION CODE, SECTION R401.3

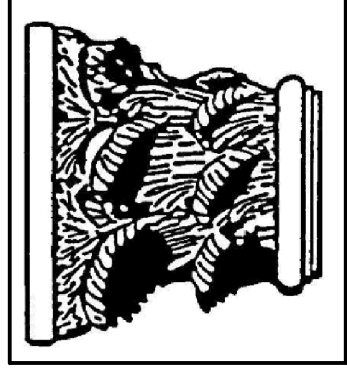


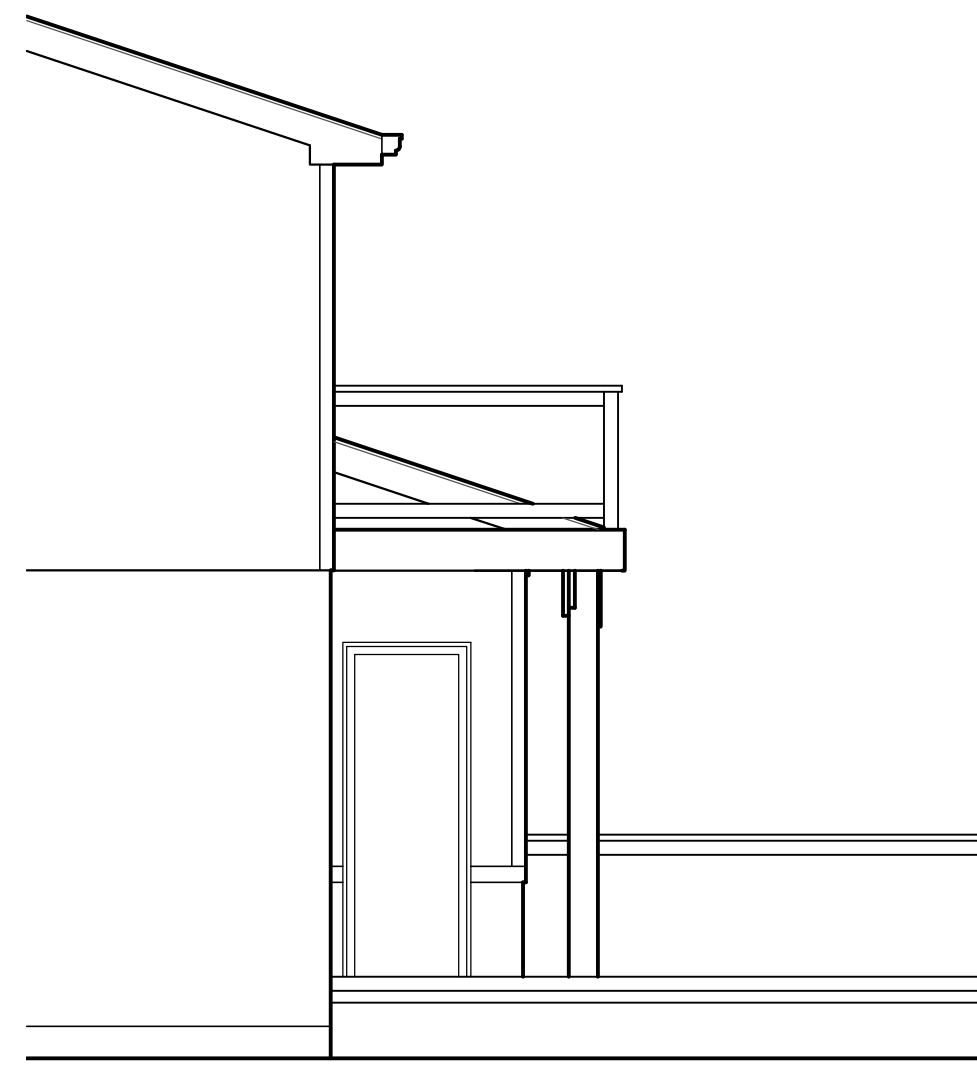
Clifford Town
10/28/25

SHEET NO. **A-1**
OF 5 SHEETS

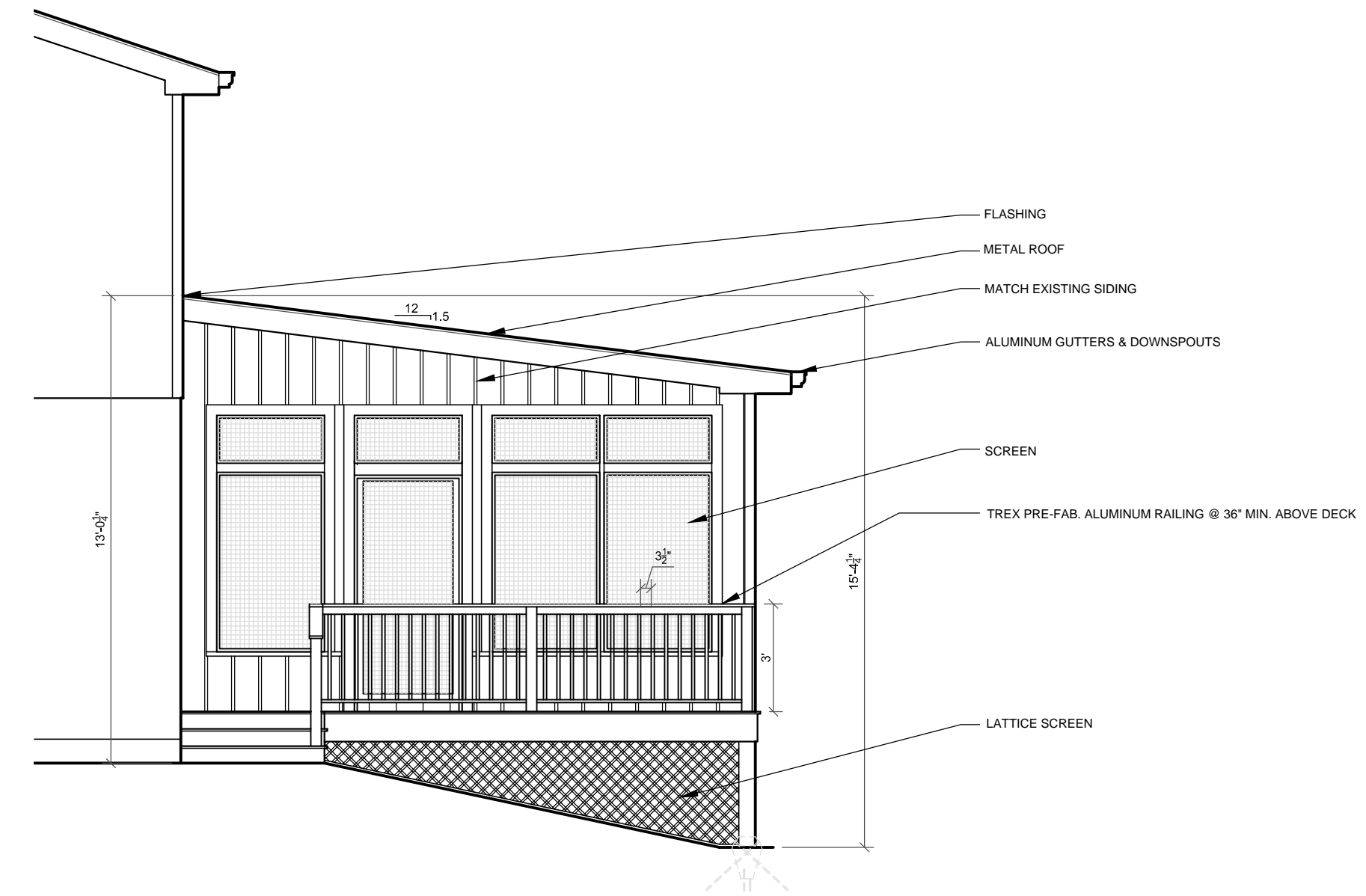
ADDITION
1331 HILLARY LANE
HIGHLAND PARK, ILLINOIS 60035

TOWN STUDIOS, INC.
1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062
PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM

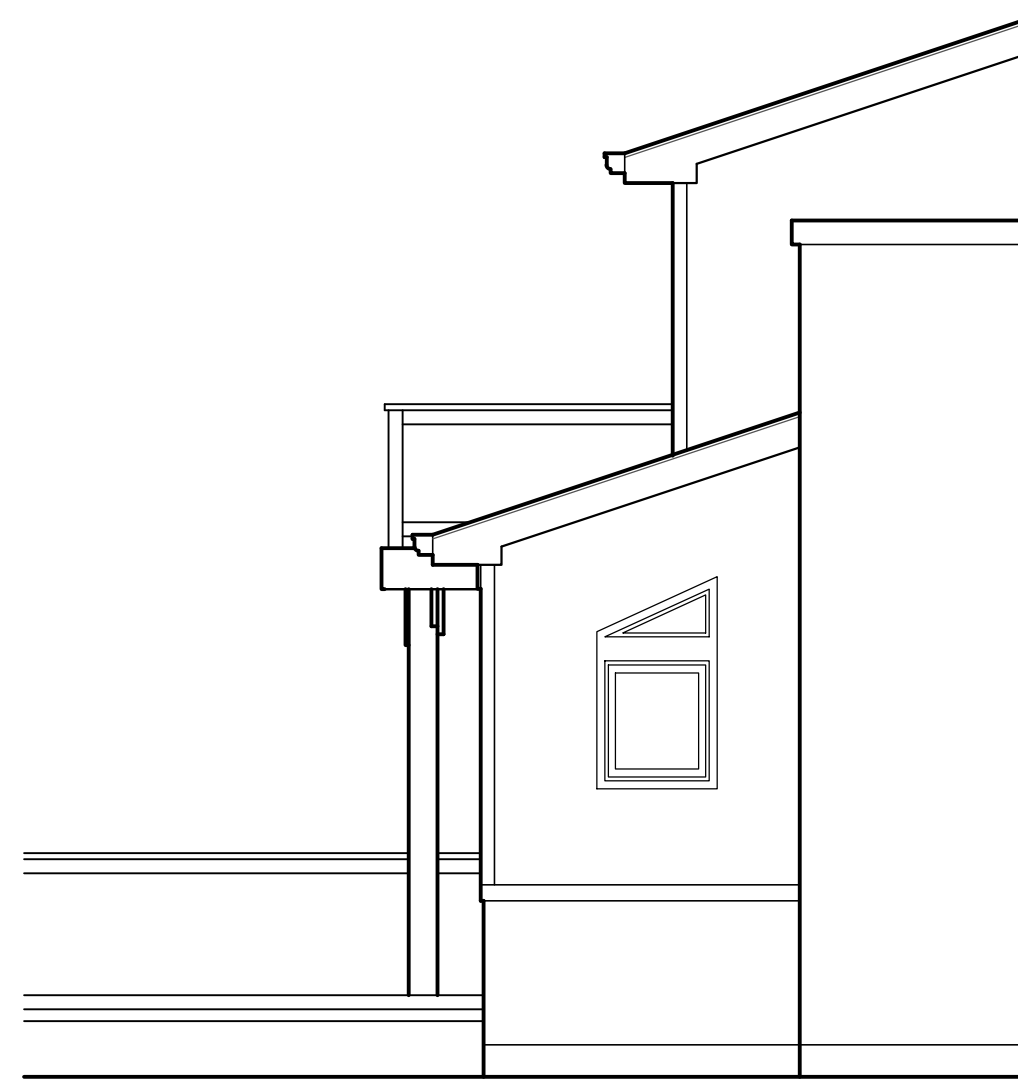




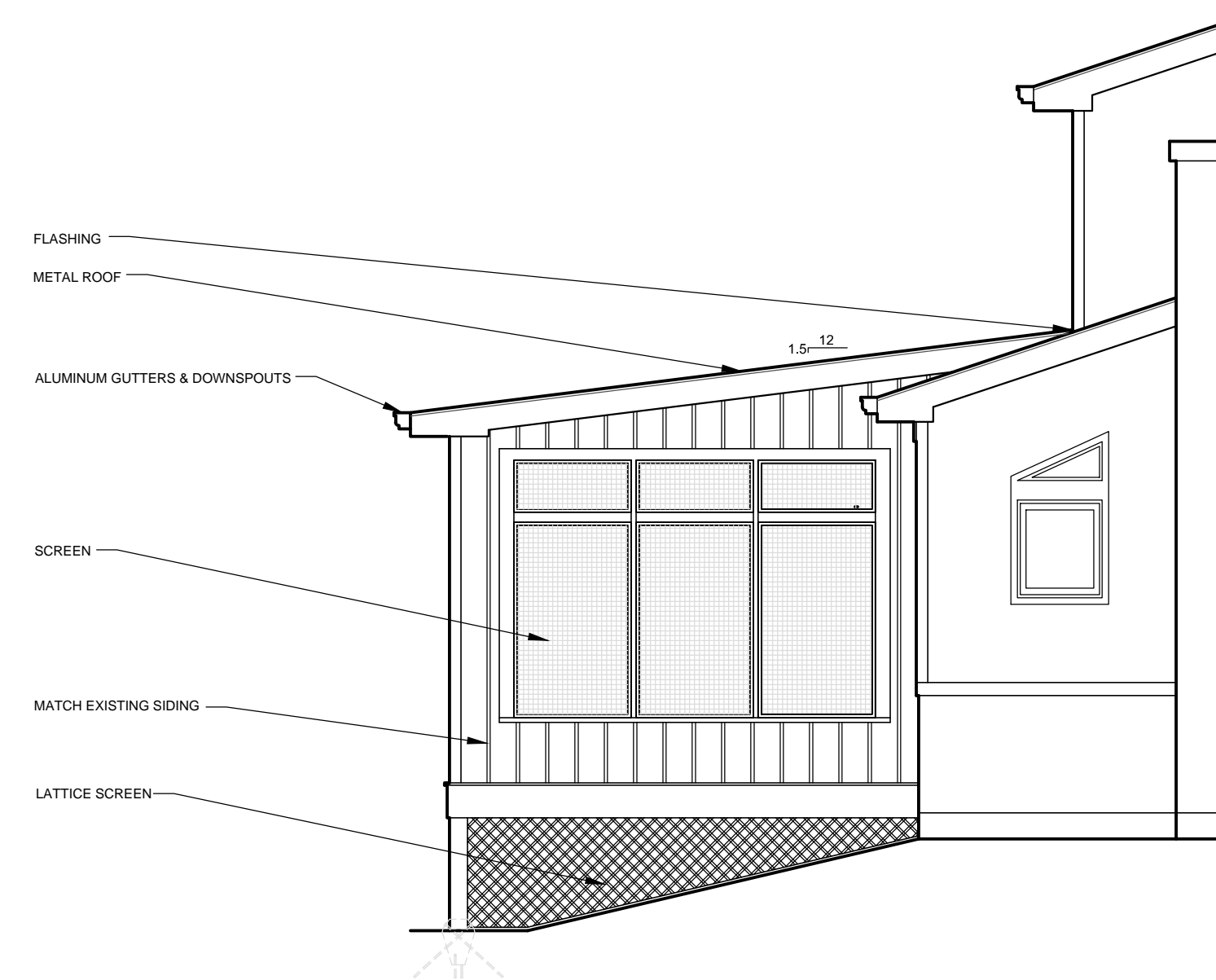
01 EXISTING NORTH ELEVATION (RIGHT SIDE)
SCALE: 1/4"=1'-0"



02 PROPOSED NORTH ELEVATION (RIGHT SIDE)
SCALE: 1/4"=1'-0"



03 EXISTING SOUTH ELEVATION (LEFT SIDE)
SCALE: 1/4"=1'-0"



04 PROPOSED SOUTH ELEVATION (LEFT SIDE)
SCALE: 1/4"=1'-0"

SHEET NO.

A-3
OF 5 SHEETS

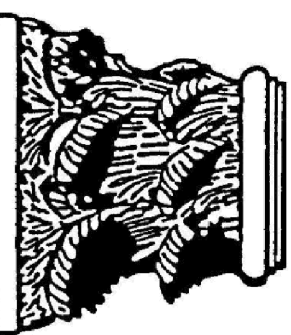
DATE:

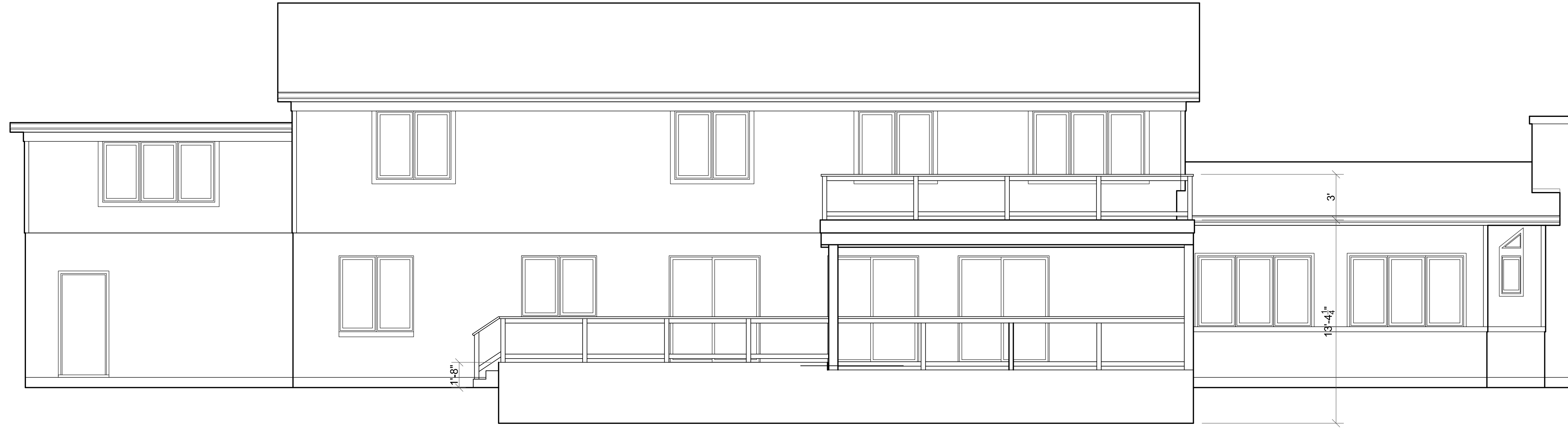
9-16-25
9-18-25

ADDITION
1331 HILLARY LANE
HIGHLAND PARK, ILLINOIS 60035

TOWN STUDIOS, INC.
1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062

PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM

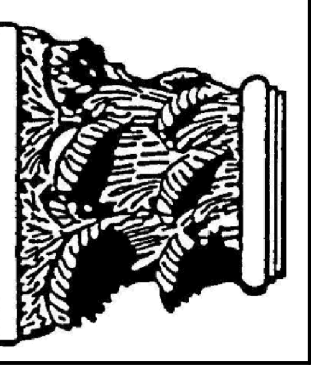




01 EXISTING WEST ELEVATION (REAR)
SCALE: 1/4"=1'-0"



02 EXISTING WEST ELEVATION (REAR)
SCALE: 1/4"=1'-0"



FAR Calculations of Neighborhood

For FAR variation requests, the Zoning Board of Appeals compares the F.A.R. of the property under consideration with other properties in the neighborhood.

Floor area and lot area can be obtained from the following sources:

Lake County Assessment Office website at:
<http://www.lakecountyil.gov/Assessor/AssessmentInformation/PropertyTaxAssessmentInfo/Default.htm>

Tax assessor's office:

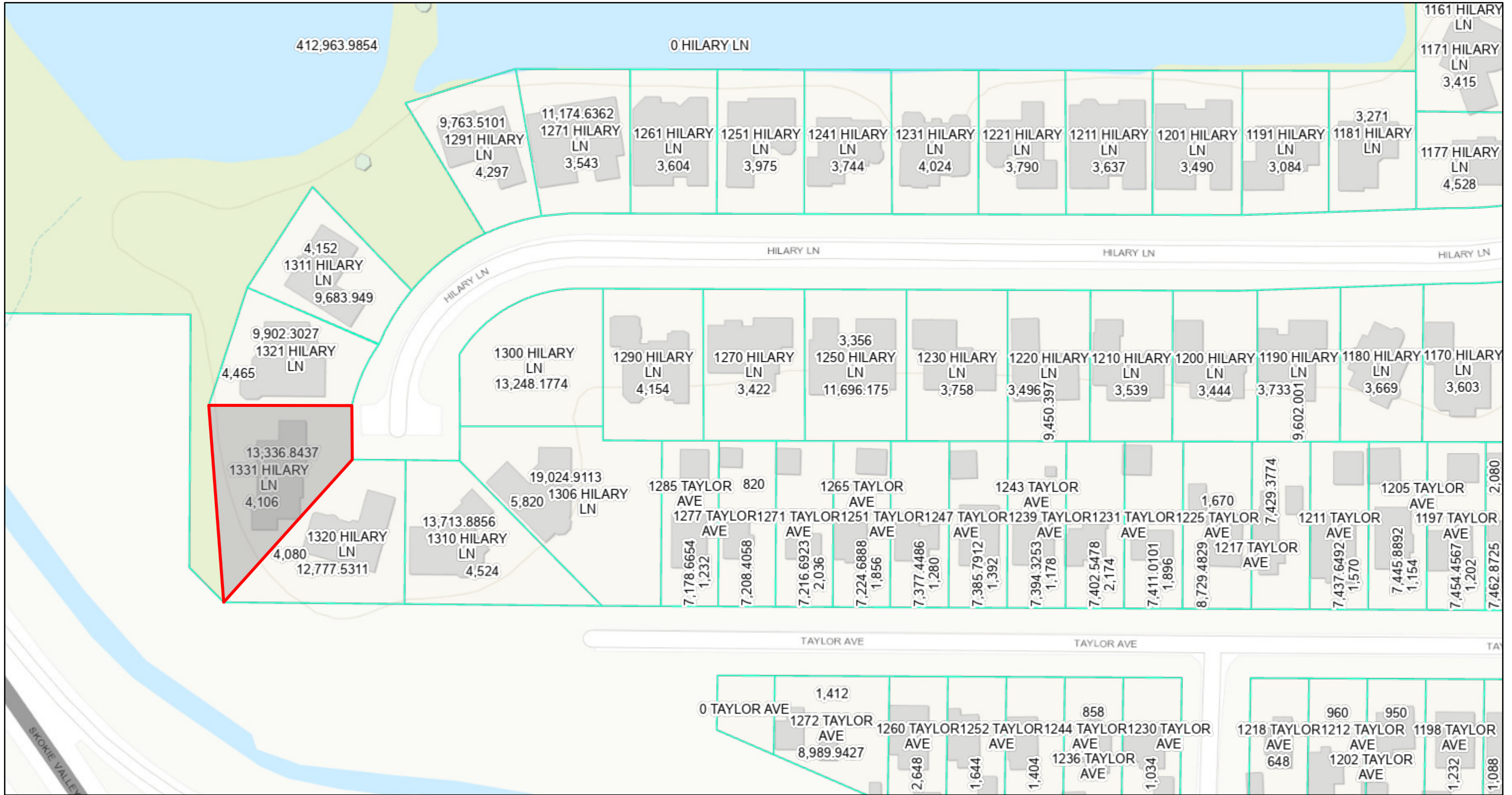
- Moraine Township Assessor: (847) 432-2100

- West Deerfield Township Assessor: (847) 945-3020

Note that information obtained from the tax assessor or Lake County will result in rough estimates only. Be sure to add garage space, as this is listed separately in the County data. The total square footage provided by the township or county may be inaccurate as floor area is defined by the City of Highland Park. Basement area is excluded; garage area is included in F.A.R calculations – please refer to the “Useful Definitions” insert in this packet for more information.

Please indicate the FAR for neighboring properties in the table below. Include several homes on both sides of the subject property, across the street, as well as property directly adjacent to the rear of the subject property.

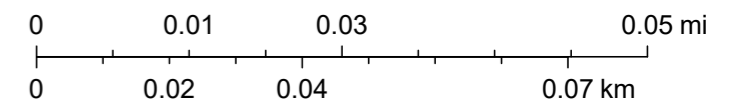
FAR TABLE			
Source			
Circle:	<input checked="" type="checkbox"/> a) Lake County Website	<input type="checkbox"/> b) Assessor's Office	<input type="checkbox"/> c) Other _____
Address	Actual Setback	Lot Area	Source/Notes
Subject Property: 1306 Hilary Lane	5820	19024.91	
1310 Hilary Lane	4524	13713.88	
1320 Hilary Lane	4080	12777.53	
1321 Hilary Lane	4465	9902.3	
1311 Hilary Lane	4152	9683.95	
1291 Hilary Lane	4297	9763.51	
1271 Hilary Lane	3543	11174.64	
1261 Hilary Lane	3604	9491.84	
1251 Hilary Lane	3975	9545.64	
1290 Hilary Lane	4154	11546.87	
1270 Hilary Lane	3422	11655.76	



October 27, 2025

1:1,342

- Tax Parcel Lines
- Land Area Sq Ft Labels
- Living Area Sq Ft Labels
- Address Labels
- Tax Parcel Information
- Citations



County of Lake, IL, Esri Canada, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA, Lake County, Illinois GIS Division

6. That due notice of said hearing, in addition to the aforesaid publication, was served upon adjacent and adjoining property owners or occupants by certified or registered mail, and/or was served in person by the applicant, and that proof of said service in accordance with the rules of the Board was made a part of the record herein.

7. That further, in accordance with the rules of the Board, evidence of ownership by the applicants of the real property subject to said request for variations (the "Property") was duly produced and admitted as evidence into the record herein.

8. That the Property is legally described as follows:

Lot 20 in Highland Lakes Subdivision Being a resubdivision of Lot 2 and Outlot 'A' in Highland Park Towers Resubdivision Unit 1 in the South ½ of Section 22, Tsp. 43 North, Range 12, East of the Third Principal Meridian, According to the Plat thereof, Recorded March 10, 1992, as Doc. #3126572, in Lake County, IL. and commonly known as 1331 Hilary Lane, in the City, County and State aforementioned.

9. That the Property is improved with a single-family residence.

10. That the aforescribed Property is located within the R6 zoning district, as established by the aforesaid Zoning Ordinance, and that variations were sought from the following requirements generally applicable to all property affected by such zoning classification as provided in 150.703: to exceed the permitted Floor Area Ratio (FAR) of 30.51% (4,063 sq. ft.) for a residence that already exceeds the permitted FAR by 1.78% (238 sq. ft.) for an addition of 450 square feet for a total FAR area ratio of 35.67% (4,751 square feet) in order to construct an addition to an existing single family residence.

11. That a strict application of the terms and provisions of the Zoning Ordinance imposes upon the applicant exceptional practical difficulties or particular hardships for reasons stated in the application and transcript of this hearing, and amounts to a practical confiscation of the Property due to circumstances unique to the subject Property.

12. That the granting of variations will not serve as a mere convenience to the applicant, will not cause substantial detriment to the public good, will not substantially impair the general purpose and intent of the Master Plan as established by ordinance, will not alter the essential character of the locality, will not impair an adequate supply of light and air to adjacent property, will not unreasonably increase congestion in the public streets, will not increase the danger of fire or endanger the public safety, and will not unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City of Highland Park.

13. That unless variations are granted in accordance with this application, the Property in question cannot yield a reasonable return, in that the house is situated on the lot in such a way as to make alternatives unreasonably expensive and prohibitive; and in that the plight of the owner was due to unique circumstances; and in that the variations requested are consistent with the purposes and intent of said Zoning Ordinance and Master Plan; and for additional reasons set forth in the application and transcript of this hearing.

IT IS, THEREFORE, ORDERED AS FOLLOWS:

That variations from the strict application of the Zoning Ordinance, and, in particular, 150.703 thereof, are hereby granted as to the real Property hereinabove described, in that the petitioners will be allowed to exceed the permitted Floor Area Ratio (FAR) of 30.51% (4,063 sq. ft.) for a residence that already exceeds the permitted FAR by 1.78% (238 sq. ft.) for an addition of 450 square feet for a total FAR area ratio of 35.67% (4,751 square feet) in order to construct an addition to an existing single family residence.

That this Order is to take effect only upon compliance with the following conditions:

- (a) All structures will be in substantial conformance with the submitted plans prepared by John Zabor Architects dated August 25, 2006.
- (b) Issuance of a building permit by the City of Highland Park.

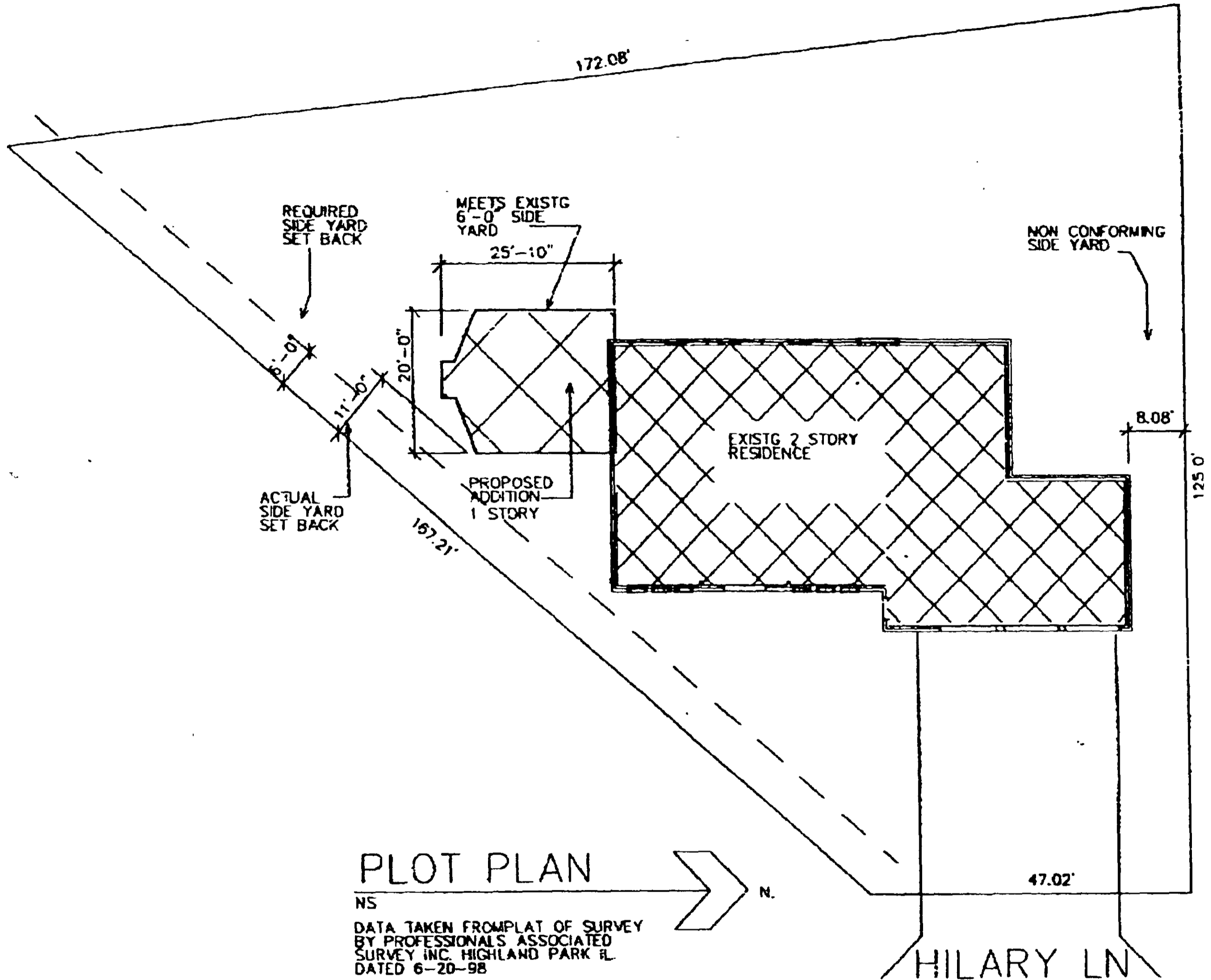
This Order shall be valid for a period of no longer than twelve (12) months from the date of this Order unless a building permit is obtained within such period and the erection or alteration of a building is started, or unless the use is commenced within such period; and, in any case where a building permit shall be obtained for the erection or alteration of a building, unless such erection or alteration shall proceed to completion without unnecessary delay.

Order granted on October 19, 2006.

BOARD OF APPEALS
CITY OF HIGHLAND PARK
LAKE COUNTY, ILLINOIS

BY: _____

Cary Glenner, Chairman



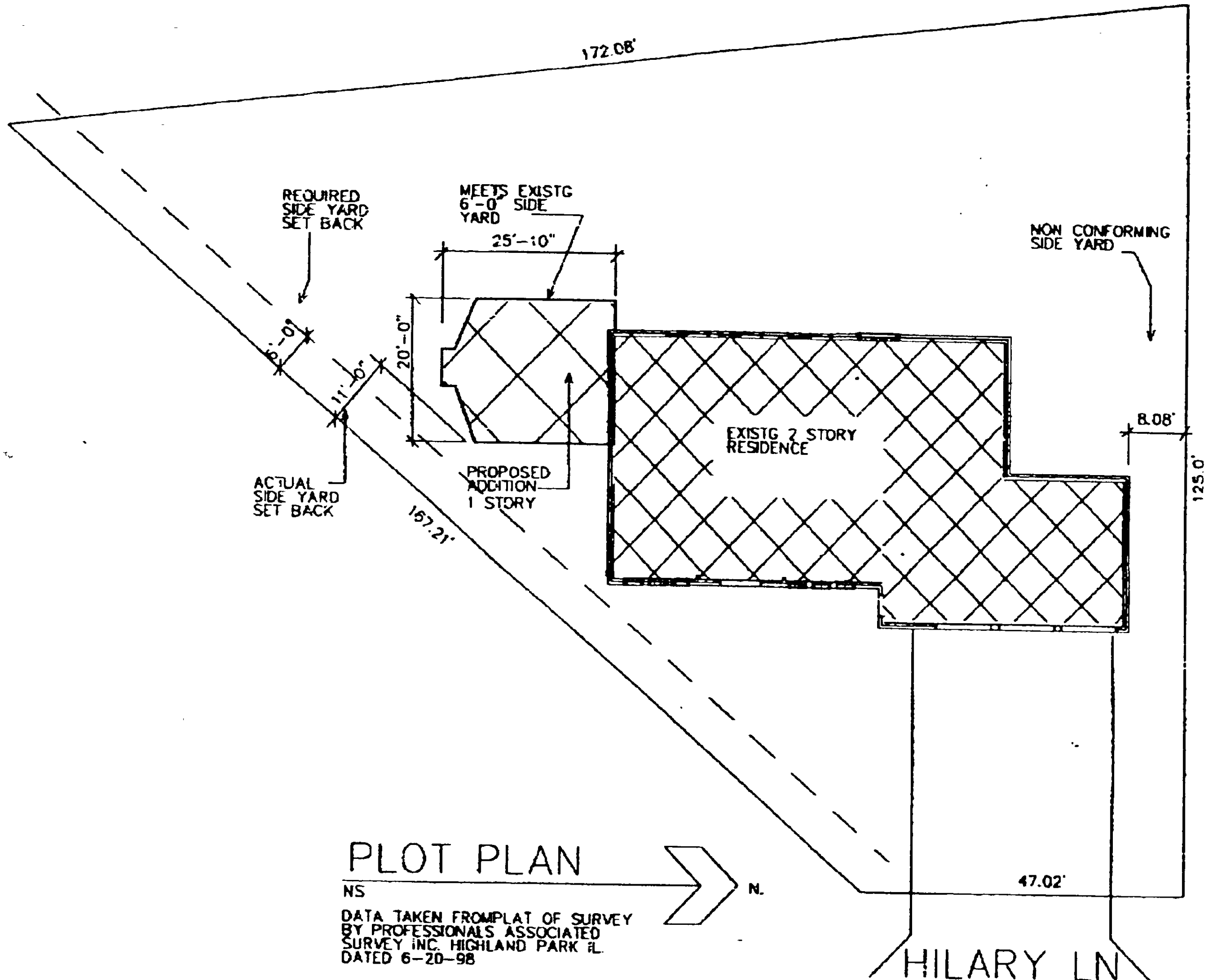
PLOT PLAN

NS
 DATA TAKEN FROM PLAT OF SURVEY
 BY PROFESSIONALS ASSOCIATED
 SURVEY INC. HIGHLAND PARK IL.
 DATED 6-20-98

CAPLAN RESIDENCE
 HIGHLAND PARK IL.

JOHN ZABOR
 ARCHITECTS
 5000 BONNIE BRAE
 RICHMOND IL 60071
 815-678-6046
 815-678-7046fx

SEPT 29.06




PLOT PLAN

NS
 DATA TAKEN FROM PLAT OF SURVEY
 BY PROFESSIONALS ASSOCIATED
 SURVEY INC. HIGHLAND PARK IL.
 DATED 6-20-98

HILARY LN

CAPLAN RESIDENCE
 HIGHLAND PARK IL.

 **JOHN ZABOR**
 ARCHITECTS
 5000 BONNIE BRAE
 RICHMOND IL 60071
 815-678-6046
 815-678-7046fx

SEPT 29, 06

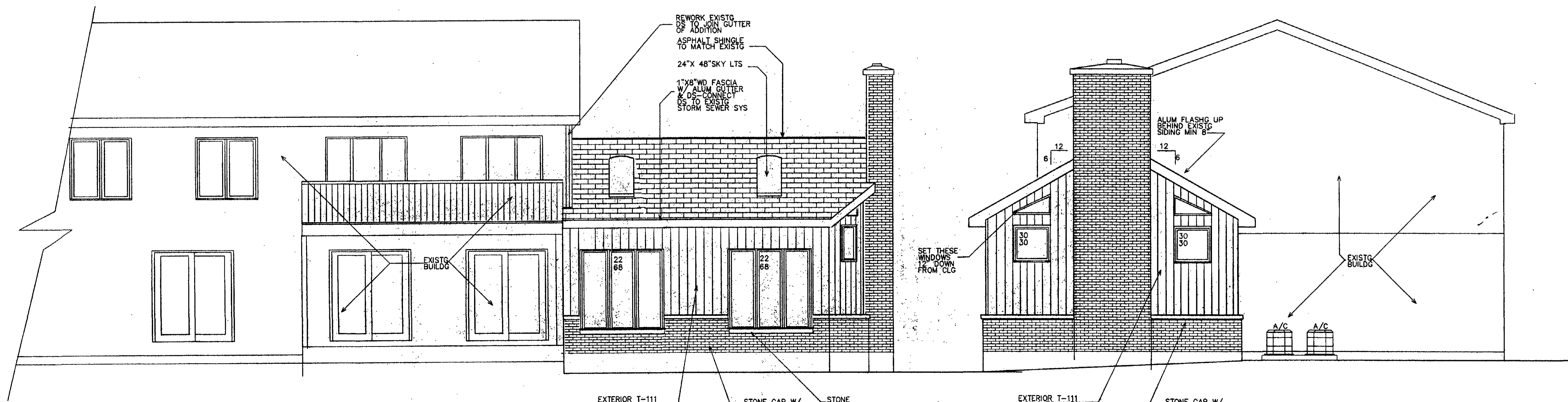


5'-2"
17'-2"

ASPHALT SHINGLE TO MATCH EXISTG
24"X 48"SKY LTS

1"X8"WD FASCIA W/ ALUM GUTTER & DS-CONNECT DS TO EXISTG STORM SEWER SYS
EXTERIOR T-111 SIDING TO MATCH EXISTG
STONE CAP W/ FACE BRICK TO MATCH EXISTG

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REWORK EXISTG DS TO JOIN GUTTER OF ADDITION
ASPHALT SHINGLE TO MATCH EXISTG
24"X 48"SKY LTS
1"X8"WD FASCIA W/ ALUM GUTTER & DS-CONNECT DS TO EXISTG STORM SEWER SYS

EXTERIOR T-111 SIDING TO MATCH EXISTG
STONE CAP W/ FACE BRICK TO MATCH EXISTG
STONE SILL

REAR ELEVATION

ALUM FLASHG UP BEHIND EXISTG SIDING MIN 8"

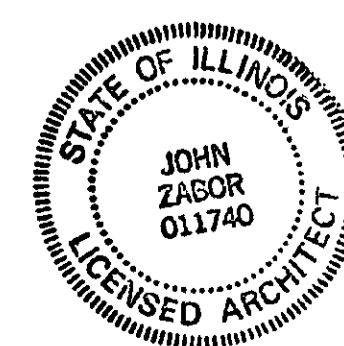
12
6
12
6

SET THESE WINDOWS 1/2" DOWN FROM CLG

EXTERIOR T-111 SIDING TO MATCH EXISTG
STONE CAP W/ FACE BRICK TO MATCH EXISTG

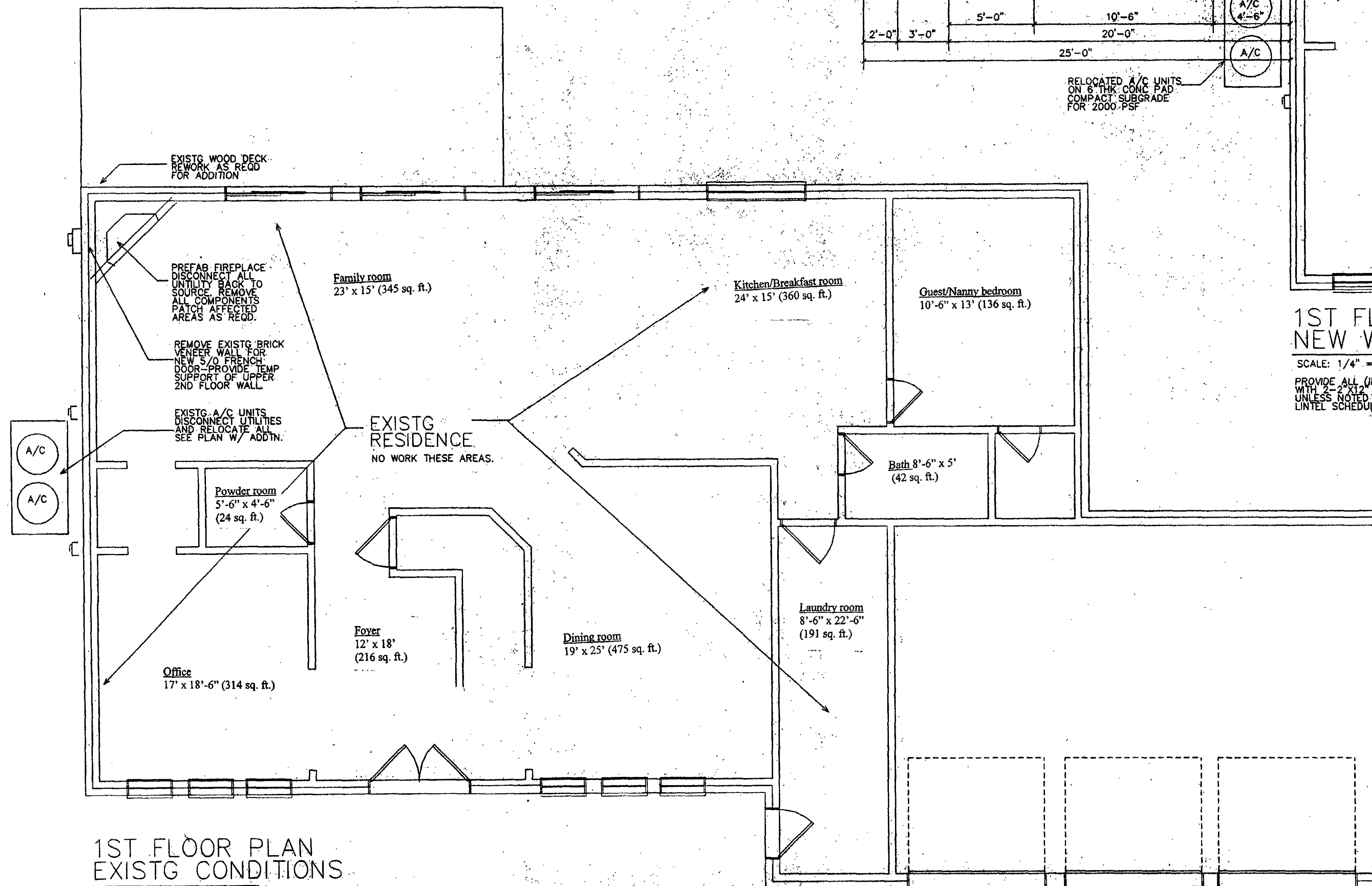
LEFT SIDE ELEVATION

PROPOSED FAMILY ROOM ADDITION AT CAPLAN RESIDENCE
1331 HILLARY LN
HIGHLAND PARK IL

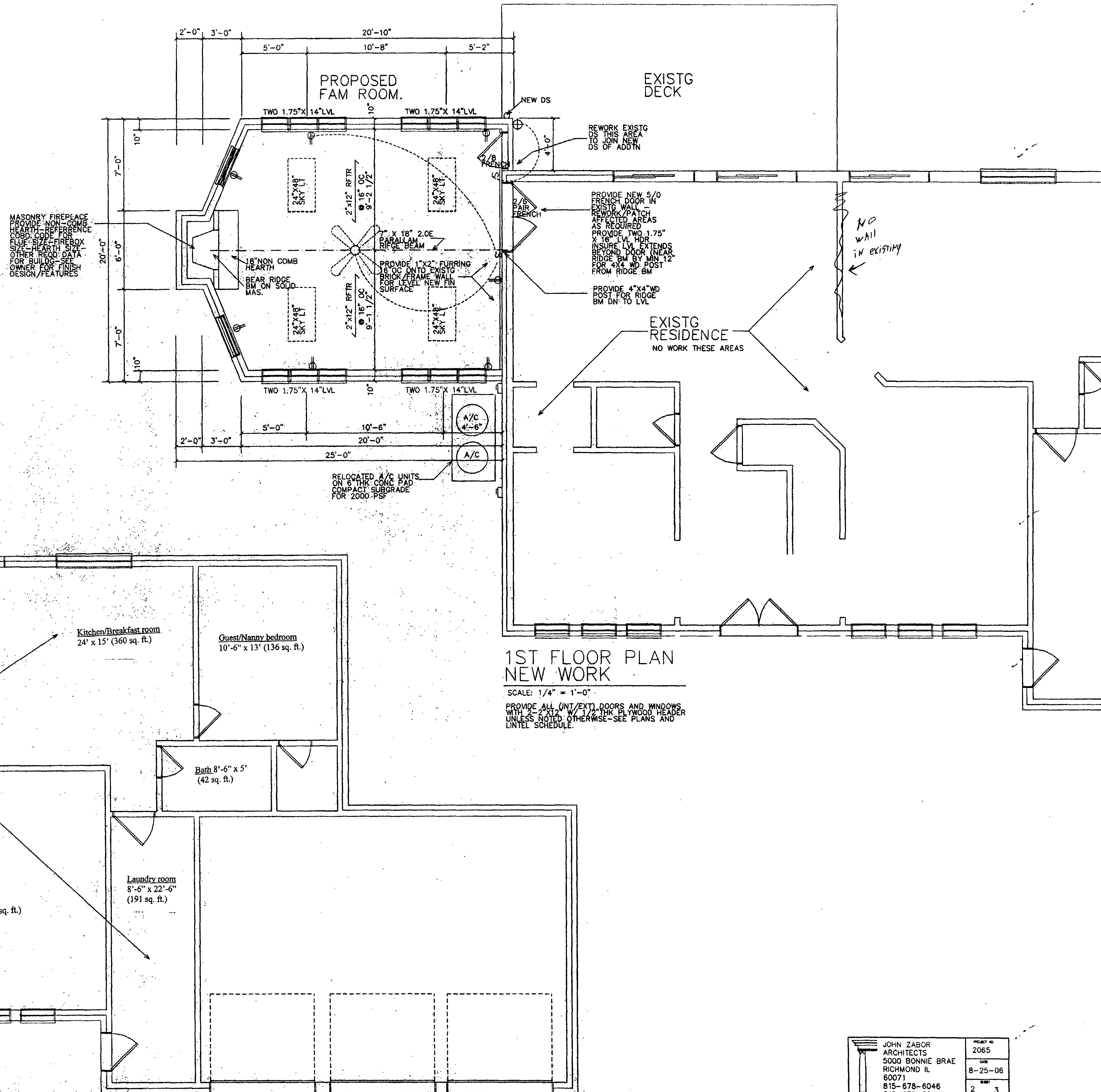


JOHN ZABOR ARCHITECTS 5000 BONNIE BRAE RICHMOND IL 60071 815-678-6046 815-678-7046fx	PROJECT NO. 2065 DATE 8-25-06 SHEET 1 OF 3
--------------------------------------------------------------------------------------------------	--------------------------------------------------

I certify that these documents were prepared by me or under my direct supervision and to the best of my knowledge comply with all applicable laws and regulations of the State of Illinois.
John Zabor, Licensed Architect, No. 011740

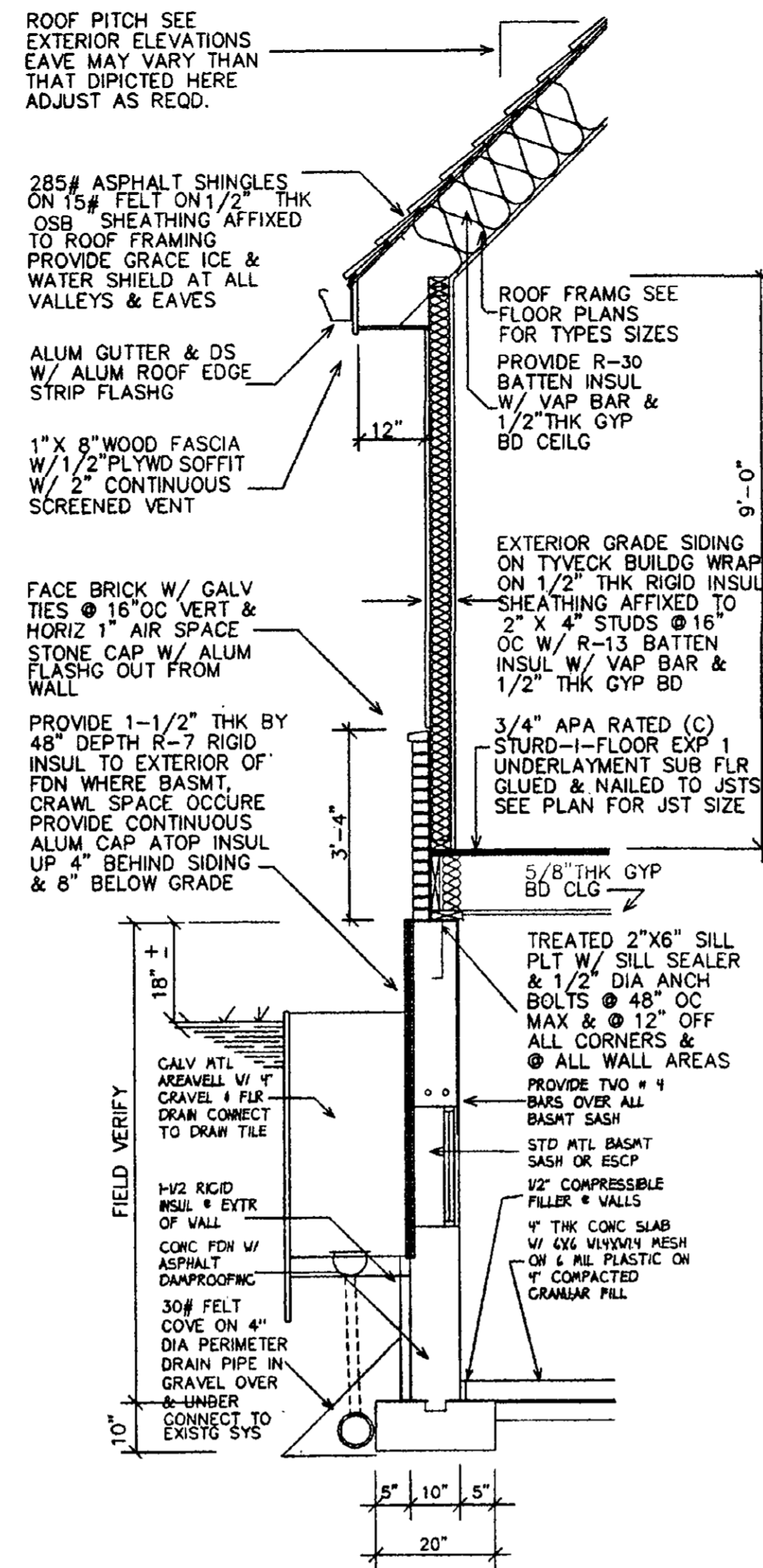


1ST FLOOR PLAN
EXISTG CONDITIONS
SCALE: 1/4" = 1'-0"



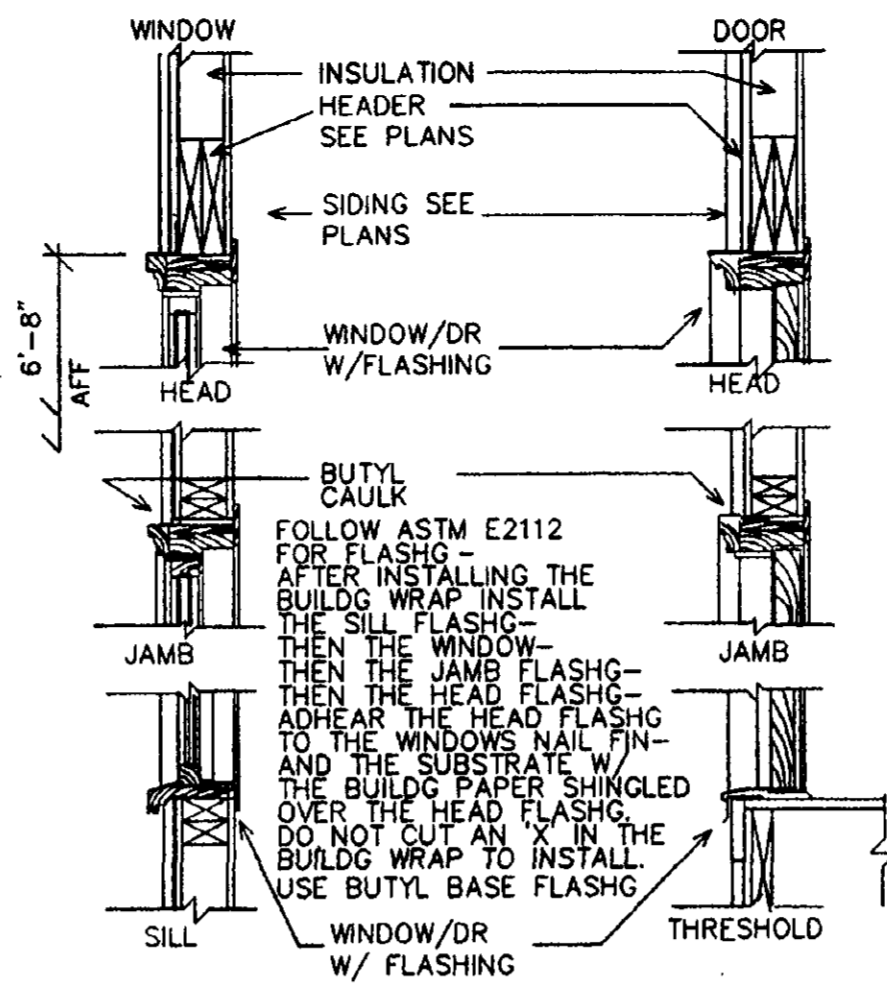
1ST FLOOR PLAN
NEW WORK
SCALE: 1/4" = 1'-0"
PROVIDE ALL (INT/EXT) DOORS AND WINDOWS WITH 2" x 4" W/ 1 1/2" THK PLYWOOD HEADER UNLESS NOTED OTHERWISE - SEE PLANS AND LINTEL SCHEDULE.

	JOHN ZABOR ARCHITECTS	PROJECT NO	2065
	5000 BONNIE BRAE RICHMOND IL 60071	DATE	8-25-08
	815-678-6046	SHEET	2
	815-678-7046fx	OF	3



WALL SECTION FRAME

NS



TYPICAL DOOR/WINDOW DETAIL FLASHING FOR SIDING

- APPLICABLE CODES:
- LOCAL AUTHORITY HAVING JURISDICTION W/ ITS CURRENT ZONING ORDINANCE CITY OF HIGHLAND PARK IL
 - INTERNATIONAL RESIDENTIAL CODE 2006 EDITION
 - NATIONAL ELECTRICAL CODE 1999 EDITION
 - ILLINOIS STATE PLUMBING CODE 1996 EDITION

GENERAL NOTES

THESE BUILDER TYPE PLANS WERE PREPARED TO ASSIST IN THE CONSTRUCTION OF THE BUILDING UNDER DAILY COMPETENT SUPERVISION AND IN NO WAY TO BE REGARDED AS COMPLETE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS.

CONTRACTORS ARE TO REFERENCE THE TJI INSTALLATION MANUAL FOR PRODUCT HANDLING - SAFETY - HAULING - BRACING - BRIDGING - CUTTING - CONNECTING FOR L-JOIST AND OR LVL MEMBERS. ALWAYS USE APPROPRIATE JOIST HANGERS FOR FACE MOUNT CONNECTIONS AND WEB BLOCKING/STIFFENERS AS REQUIRED BY THE TJI MANUAL.

SLOPE FINISH GRADE AWAY FROM BUILDING MIN 2% ALL SIDES. CONSULT W/ OWNER FOR FINISH GRADING PLAN, UTILITY CONNCTNS SITING/SETTING FDN VERIFY MIN 2500 PSF SOIL BEARG

ALWAYS DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS & UNDER TUBS

PROVIDE SIZED JOIST HANGERS FOR FLUSH MOUNTING CONNECTIONS

DO NOT REMOVE FDN FORMS LESS THAN 7 DAYS AFTER

DO NOT BACKFILL UNTILL MAIN FLOOR DECK IS ON

REMOVE TOP SOIL FOR ALL CONC WORK - PROVIDE MIN 4" BELOW GRADE DEPTH OF FTGS. ALL FTGS TO BEAR ON UNDISTURBED SOIL - VERIFY MIN 2500 PSF SOIL BEARING EXISTS.

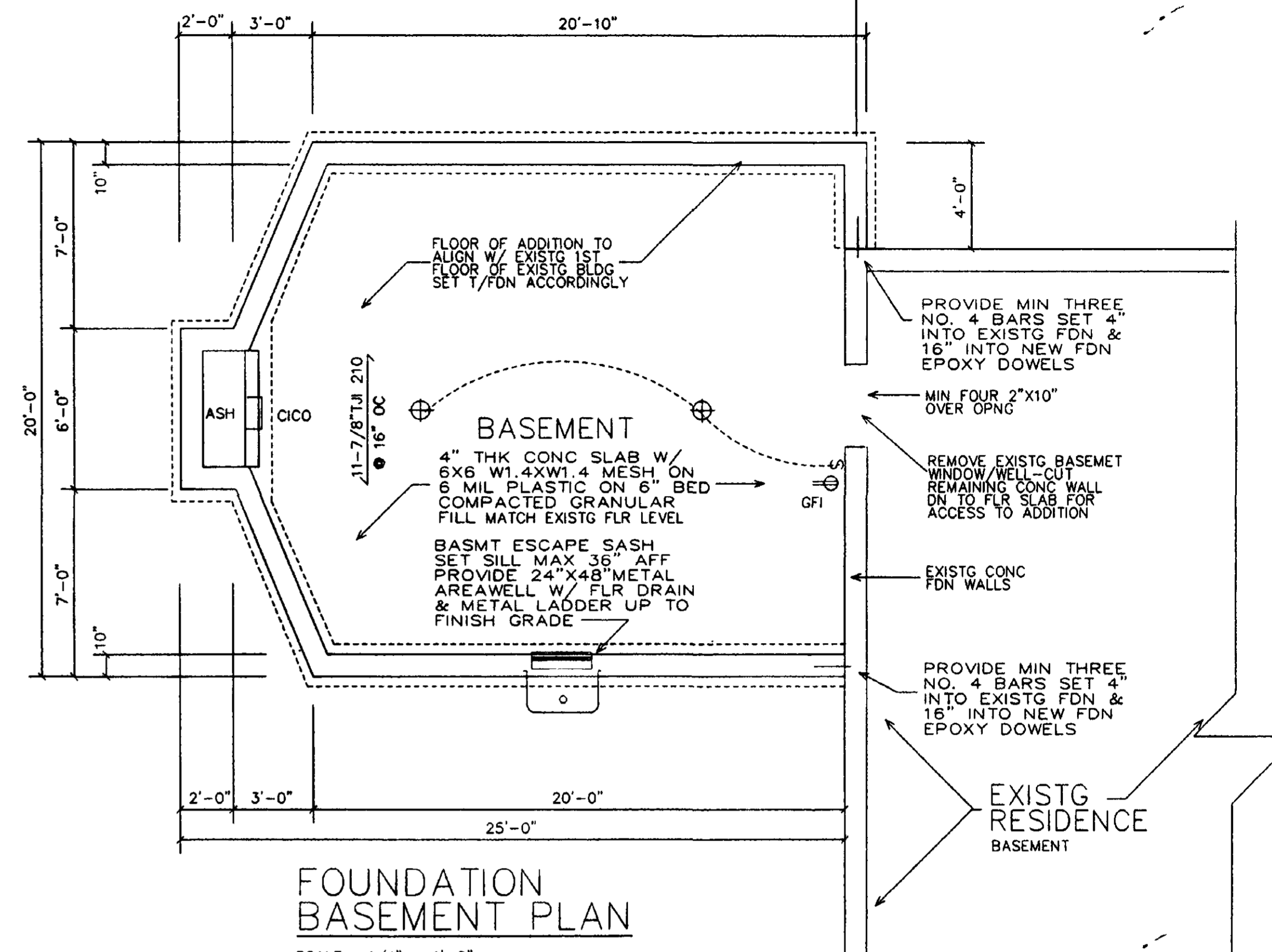
CONTRACTORS ARE TO REFERENCE THE TJI INSTALLATION MANUAL FOR PRODUCT HANDLING - SAFETY - HAULING - BRACING - BRIDGING - CUTTING - CONNECTING FOR L-JOIST AND OR LVL MEMBERS. ALWAYS USE APPROPRIATE JOIST HANGERS FOR FACE MOUNT CONNECTIONS AND WEB BLOCKING/STIFFENERS AS REQUIRED BY THE TJI MANUAL.

CONSULT W/ LOCAL UTILITY COMPANIES FOR SERVICE ROUTE, LOCATION METER & ENTRANCE LOCATION FOR GAS, ELECTRICAL, PHONE, CABLE & CONSULT W/ LOCAL CITY/COUNTY CONCERNING SAME FOR WATER SERVICE, SANITARY SEWER, STORM SEWER PRIOR TO ANY WORK. PROVIDE ALL NECESSARY HANGERS, CONNECTORS, SLEEVES FOR INSTALLATION

ELECTRICAL: PROVIDE ALL EQUIPMENT, DEVICES, FIXTURES, & MATERIALS NECESSARY FOR A COMPLETE OPERATING & COMPLIANT SYSTEM. ALL WIRING SHALL BE IN EMT CONDUIT FOR ABOVE GRADE APPLICATIONS & RIGID CONDUIT CONDUIT FOR BELOW GRADE. ALL BRANCH CIRCUITS OF 20AMPS SHALL BE OF #12AWG COPPER

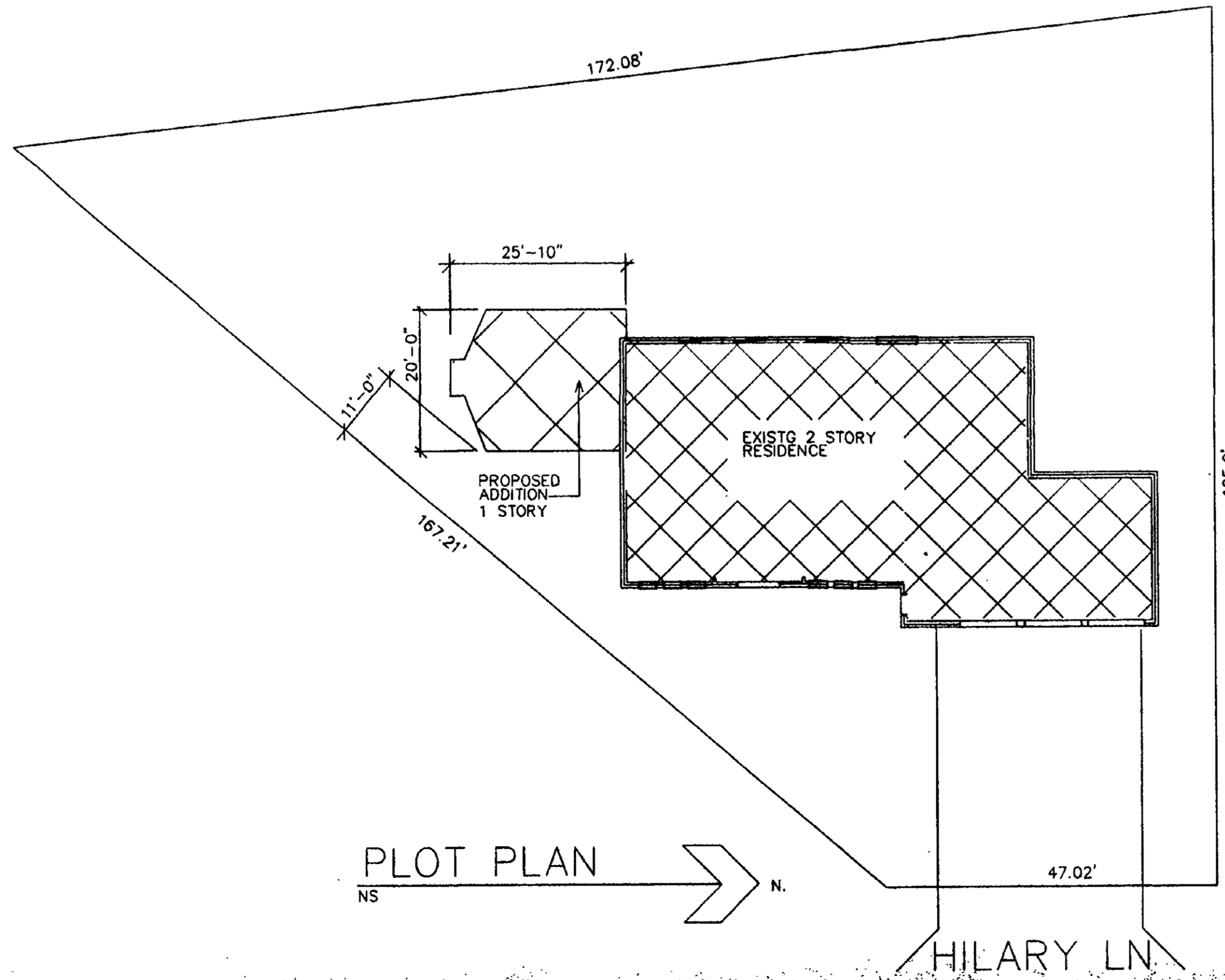
HVAC: PROVIDE ALL EQUIPMENT, FITTINGS, MATERIALS, COMPONENTS NECESSARY FOR A COMPLETE & COMPLIANT OPERATING SYSTEM FOR NO. OF OCCUPANTS (BUSINESS USE). PROVIDE REQUIRED COMBUSTION AIR-FRESH AIR INTAKE. ADJUST/BALANCE SYSTEM FOR MAX EFFICIENCY/COMFORT.

CONSULT OWNER FOR QUALITY, BRANDS, STYLES, FINISHES, COLORS, OF ALL DOORS, DOOR HARWARE, ACCESSORIES, & WINDOWS.



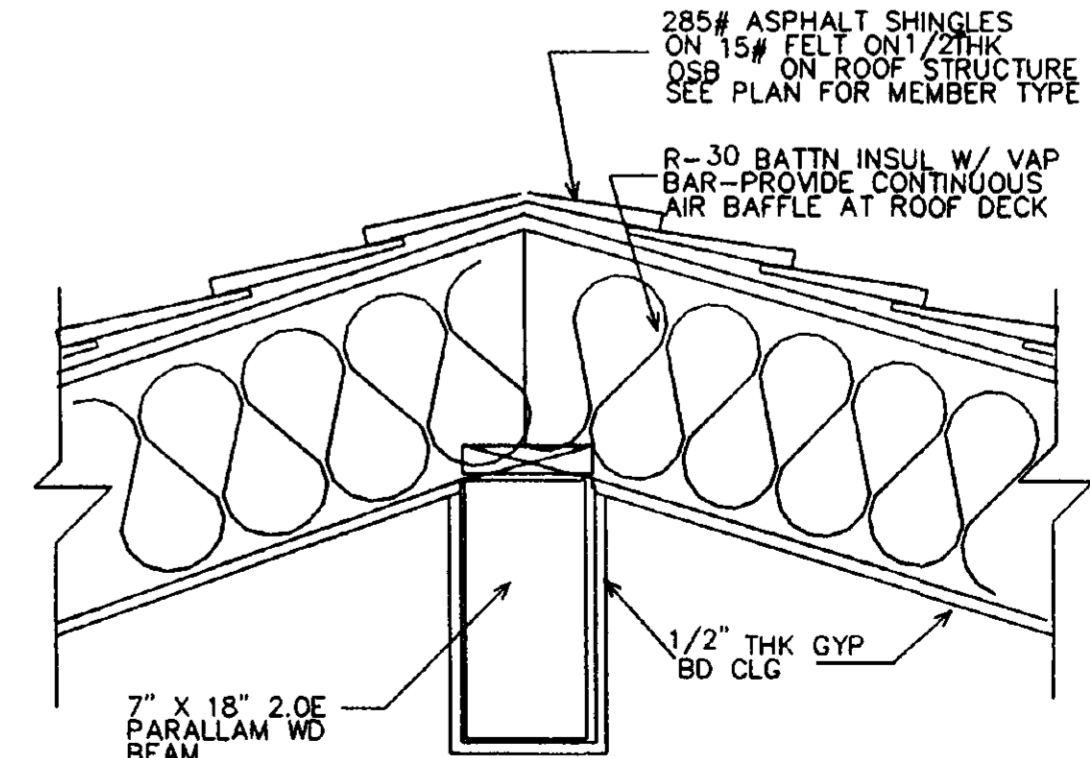
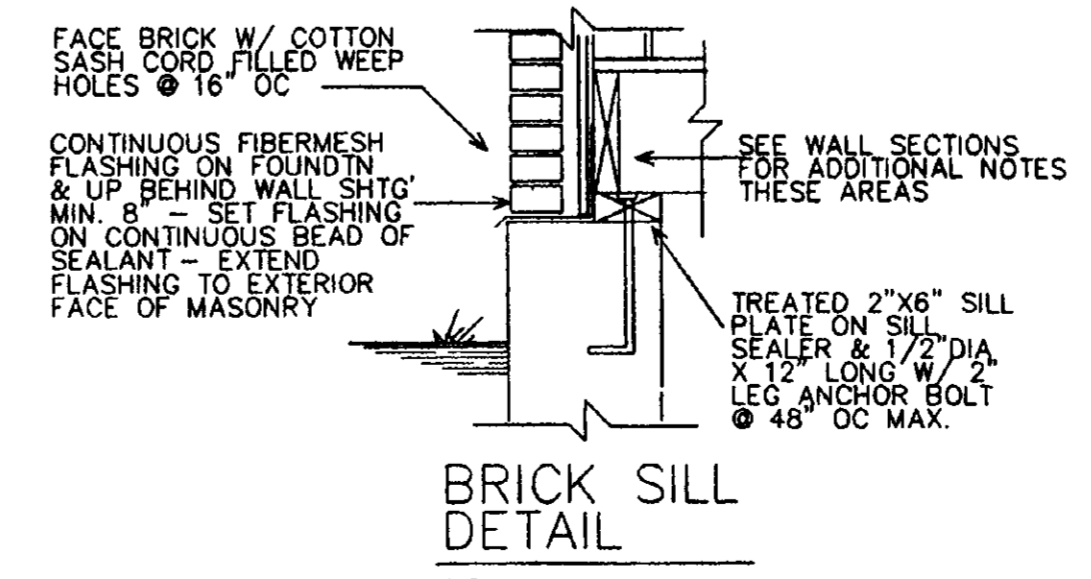
FOUNDATION BASEMENT PLAN

SCALE: 1/4" = 1'-0"



PLOT PLAN

NS



RIDGE BEAM DETAIL

NS

NOTCHING AND BORING GUIDE FOR DIMENSION LUMBER	JOIST SIZE	MAX HOLE	MAX NOTCH DEPTH	MAX END NOTCH
2"x8"	2"x4"	NONE	NONE	NONE
2"x8"	2"x6"	1-1/2"	7/8"	1-3/8"
2"x8"	2"x8"	2-3/8"	1-1/4"	1-7/8"
2"x10"	2"x10"	3"	1-1/2"	2-3/8"
2"x12"	2"x12"	3-3/4"	1-7/8"	2-7/8"

FOR ALL LVL & L-JOISTS CONSULT MANUFACTURERS SPECS FOR BORING HOLES & INSTALLATION REQUIREMENTS/PRACTICES.

MAX LENGTH = D/3

D/8

JOIST

LVL

NO NOTCHES ALLOWED @ ENDS OF SPAN

AVOID CUTTING SQUARE HOLES AND NOTCHES

FOR ALL LVL & L-JOISTS SEE MANUFACTURERS INSTALLATION MANUAL SPECS FOR ALLOWABLE CUTS, STIFFENERS, BLOCKING, NAILING ETC. FOLLOW IN STRICT ACCORDANCE.

JOHN ZABOR ARCHITECTS
5000 BONNIE BRAE
RICHMOND IL 60071
815-678-6046
815-678-7046fx

PROJECT NO. 2065
DATE 8-25-06
SHEET 3 OF 3

VAR-2025-00057
1331 Hilary Ln



After recording, please return to:

City of Highland Park
Department of Community Development
Planning Division
1150 Half Day Road
Highland Park, IL 60035

STATE OF ILLINOIS)
) SS.
COUNTY OF LAKE)

BEFORE THE BOARD OF APPEALS
CITY OF HIGHLAND PARK
LAKE COUNTY, ILLINOIS

IN THE MATTER OF THE APPEAL OF
BRETT CAPLAN
FOR VARIATION

APPEAL NO. ZBA VAR-2025-00057

V A R I A N C E A P P R O V A L O R D E R

This order (“**Order**”) concerns the petitioner and owner, Brett Caplan, (the “**Applicant**”), of 1331 Hilary Ln, Highland Park, IL 60035, for the variation described herein for the property described herein. The Zoning Board of Appeals of the City of Highland Park (“**Board**”), being duly advised in the premises, DOES FIND AS FOLLOWS:

1. The Property that is the subject of this Order is commonly known as 1331 Hilary Ln, Highland Park, IL 60035 and legally described on Exhibit A attached to this Order (“**Property**”).
2. The Property is currently improved as a single-family home.
3. The Property is located within the R6 Zoning District, as established by “The City of Highland Park Zoning Ordinance of 1997,” as amended (“**Zoning Ordinance**”).
4. The Applicant sought the following variations from of Section 150.703.3.(A) of the City Code (the “**Variation**”), to construct a new addition as depicted on the Plans within Exhibit B.
 - a. To exceed the allowable Floor Area Ratio (FAR) of 30.48% (4,080 sq. ft.) for a residence that already exceeds the permitted FAR to construct a 382 sq. ft. addition for a proposed total FAR of 42.69% (5,713.9 sq. ft.);
5. Notice of the time and place of the hearing was duly published in Lake County News-Sun, a newspaper of general circulation in the City, not more than 30 days nor less than 15 days previous to the hearing, in accordance with the Zoning Ordinance and all applicable law.

6. Notice of the hearing was served upon the adjacent and adjoining property owners or occupants, in accordance with the Zoning Ordinance, Section 150.1203, and applicable law.
7. The application was heard by the Board at a public hearing of the Board on November 20, 2025.
8. The Board has jurisdiction pursuant to Section 150.1204.(A)(4) of the City Code, to hear and determine the Applicant's request for the Variation.
9. The Applicant entered into the record sufficient evidence of their ownership of the Property.
10. After the conclusion of the public hearing, the Board found that the requested Variation satisfy the standards set forth in Section 150.1205, to the extent required.
11. After the conclusion of the public hearing the Board granted the application for the Variation, by a vote of the majority of the members of the Board.

IT IS, THEREFORE, ORDERED AS FOLLOWS:

A. Subject to and contingent upon the conditions, restrictions, and provisions set forth in Section B of this Order, the Applicant's request for the Variation for the Property shall be, and is hereby, approved for the reasons set forth in this Order. The Applicant will be allowed:

- (i) To exceed the allowable Floor Area Ratio (FAR) of 30.48% (4,080 sq. ft.) for a residence that already exceeds the permitted FAR to construct a 382 sq. ft. addition for a proposed total FAR of 42.69% (5,713.9 sq. ft.);

B. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Ordinance, or any other rights the Applicant may have, the variation granted in Section A of this Order shall be, and are hereby, expressly subject to and contingent upon the construction, use, and maintenance of the Property in compliance with each and all of the following conditions:

- i. The construction, development, use, operation, and maintenance of the Property shall comply with the Zoning Ordinance and all other applicable City ordinances, as the same have been or may be amended from time to time, except to the extent specifically provided otherwise in this Order.

- ii. Except for minor changes and site work approved by the Director of Community Development or the City Engineer (for matters within their respective permitting authorities) in accordance with all applicable City standards, the construction, development, use, operation, and maintenance of the Property shall substantially comply with the following plans:

- a. Proposed Site Plan, Addition for 1331 Hilary Ln by Town Studios Inc. date 10/28/2025, sheet A-1,
- b. Proposed Elevations, Addition for 1331 Hilary Ln by Town Studios Inc. date 09/18/2025, sheets A-3 & A-4,

C. The Applicant shall permit a copy of this Order to be recorded against the Property in the office of the Lake County Recorder of Deeds. This Order and the privileges, obligations, and provisions

VAR-2025-00057
1331 Hilary Ln

contained herein shall inure solely to the benefit of, and be binding upon, the Applicant and their heirs, personal representatives, successors and assigns.

D. This Order shall be valid for a period not to exceed 12 months from the date hereof, unless, within such period and in accordance with this Order, the Applicant commences either (i) erection or alteration of a building or structure, pursuant to a valid building permit for construction on the Property, or (ii) the use contemplated by this Order. In the event that the Applicant obtain a building permit in furtherance of the Variation granted pursuant to this Order, the Applicant shall prosecute all work authorized by the building permit to completion without unnecessary delay.

E. Upon the failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Order, in addition to all other remedies available to the City, the Variation granted pursuant to this Order shall, at the sole discretion of the Board, by order duly adopted, be revoked and become null and void; provided, however, that the Board may not so revoke such Variation unless it shall first provide the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Board. In the event of revocation, the development and use of the Property shall be governed solely by the applicable regulations of the Zoning Ordinance.

Order approved November 20, 2025

ZONING BOARD OF APPEALS
CITY OF HIGHLAND PARK
LAKE COUNTY, ILLINOIS

By: _____
Jami Bay, Chairman

5146803_v2

VAR-2025-00057
1331 Hilary Ln

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

The subject property commonly known as 1331 Hilary Ln, Highland Park, Illinois, is legally described as follows:

LOT 20 IN HIGHLAND LAKES SUBDIVISION, BEING A RESUBDIVISION OF LOT 2 AND OUTLOT "A" IN HIGHLAND PARK TOWERS RESUBDIVISION UNIT 1, IN THE SOUTH 1/2 OF SECTION 22, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 10, 1992 AS DOCUMENT 3126572 IN LAKE COUNTY, ILLINOIS

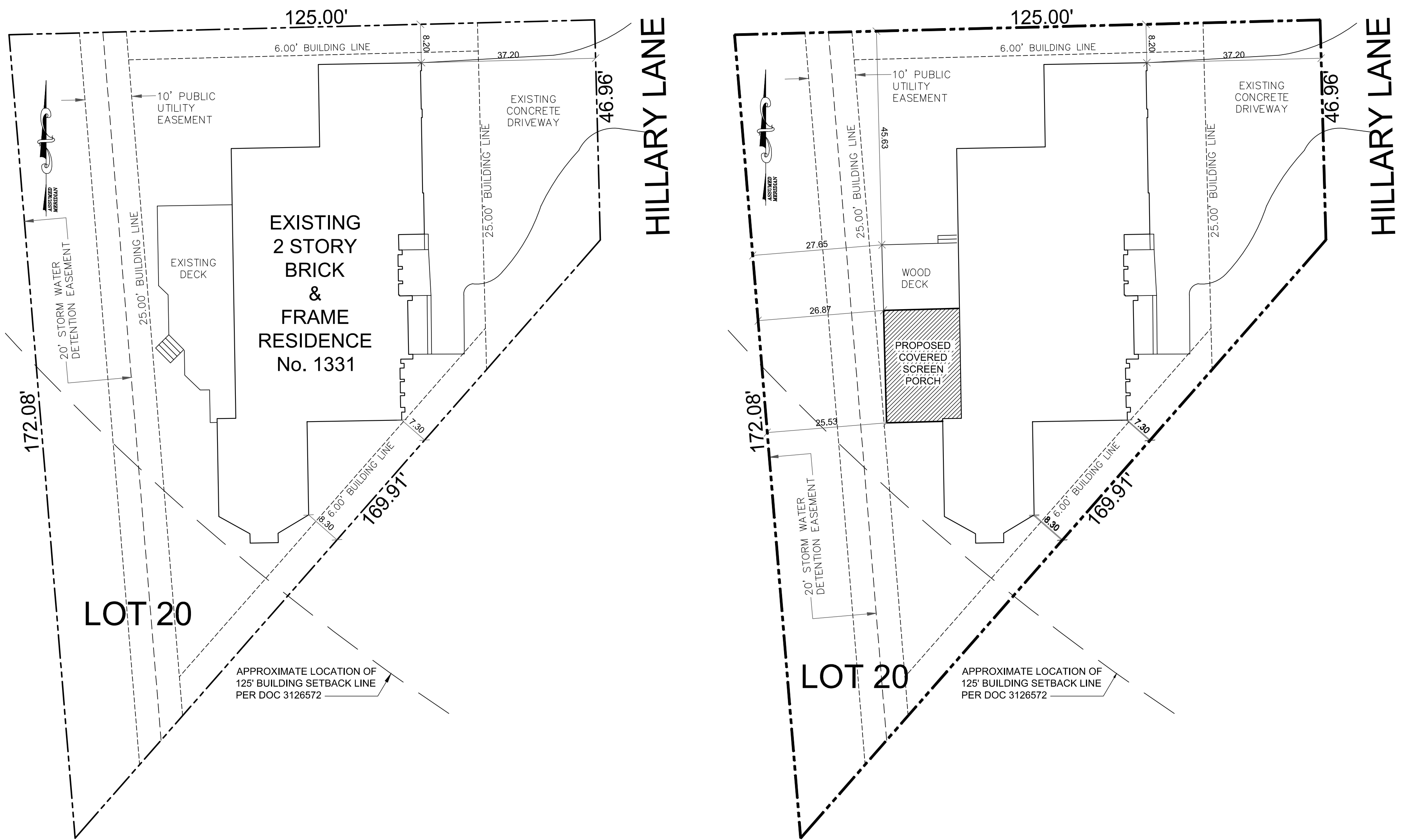
PIN: 16-22-305-029-0000

DRAFT

EXHIBIT B

[PLANS]

DRAFT



01 EXISTING SITE PLAN

SCALE: 1/16"=1'-0"

02 PROPOSED SITE PLAN

SCALE: 1/16"=1'-0"

CONSTRUCTION NOTES

- ALL NEW CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES W/ ALL CITY OF HIGHLAND PARK AMENDMENTS.
- PROVIDE TREATED 2X SILL PLATE AGAINST CONCRETE.
- PROVIDE MINIMUM 3/4" TONGUE AND GROOVE PLYWOOD FOR ALL FLOOR SHEATHING.
- PROVIDE COLLAR TIES @ 4'-0" O.C. (MIN)
- PROVIDE STUD FRAMING AT 16" O.C.
- PROVIDE 1/2"(MIN) PLYWOOD OR LET-IN SWAY BRACING AT ALL CORNERS AND EVERY 25 LF. ON EXTERIOR WALLS
- HANDRAILS - HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, AND SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS AND WINDERS SHALL HAVE THE REQUIRED HANDRAIL LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
- HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.
- ALL PORCHES, STEPS, AND GARAGE FLOOR SLABS SHALL BE A MINIMUM THIRTY-FIVE HUNDRED (3500) PSI AND A MINIMUM FIVE PERCENT (5%) AND A MAXIMUM SEVEN PERCENT (7%) AIR ENTRAINED.
- CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED.
- EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 16 GAGE AND 1 1/2 INCHES (1 1/2") WIDE FASTENED TO EACH PLATE.
- EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE.
- WOOD SILL PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE RATED FOR ROT AND TERMITES.
- PROVIDE TWO 2X12'S WITH 1/2" PLYWOOD HEADERS OVER ALL EXTERIOR OPENINGS AND ALL INTERIOR OPENINGS IN BEARING WALLS UNLESS OTHERWISE NOTED.
- PROVIDE THREE 2X4'S MINIMUM AT EACH END OF ALL WOOD BEAMS, HEADERS, AND GIRDER TRUSSES CONTINUOUS TO CONCRETE FOUNDATION OR STRUCTURAL STEEL UNLESS NOTED OTHERWISE.
- PROVIDE MINIMUM 1/2" EXTERIOR SHEATHING OVER ALL EXTERIOR WALLS.
- PROVIDE 15LB FELT OR OTHER APPROVED WEATHER RESISTANT MEMBRANE OVER ALL EXTERIOR SHEATHING.
- RAFTERS AND CEILING JOISTS SHALL BE SUPPORTED Laterally BY SOLID BLOCKING, DIAGONAL BRIDGING (WOOD OR METAL) AT INTERVALS NOT EXCEEDING 10'-0" WHERE FINISHED CEILING IS APPLIED.
- PROVIDE MINIMUM 1/2" EXTERIOR GRADE PLYWOOD FOR ALL ROOF SHEATHING.
- ROOF UNDERLAYMENT - 2:12 TO LESS THAN 4:12 SLOPE - APPLY 2 LAYERS OF 15 LB. FELT CEMENTED OR APPROVED SELF ADHERED MEMBRANE ROOF UNDERLAYMENT EXTENDING MINIMALLY FROM EAVE TO A LINE 24" INSIDE THE EXTERIOR WALL. INSTALL 2 LAYERS OF 15LB. FELT ON REMAINDER OF ROOF. ROOF UNDERLAYMENT - 4:12 AND OVER - APPLY 1 LAYER OF 40LB FELT OR APPROVED MEMBRANE ROOF UNDERLAYMENT EXTENDING MINIMALLY FROM EAVE TO A LINE 12" INSIDE THE EXTERIOR WALL. INSTALL 1 LAYER OF 15LB FELT ON REMAINDER OF ROOF.
- PROVIDE BRIDGING FOR ALL FLOOR JOISTS EIGHT (8) FEET ON CENTER.
- PROVIDE APPROVED CORROSION RESISTANT FLASHING AT TOP AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS.
- CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED.
- EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 16 GAGE AND 1 1/2 INCHES (1 1/2") WIDE FASTENED TO EACH PLATE.
- EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE.
- ALL STAIRS WITH FOUR OR MORE RISERS SHALL HAVE A CONTINUOUS, GRASPABLE HANDRAIL INSTALLED ON AT LEAST ONE SIDE OF THE STAIRWAY.
- WOOD FRAMING MEMBERS ADJACENT TO CONCRETE WALLS BELOW GRADE, SHALL EITHER BE PRESERVATIVE TREATED WOOD, OR SHALL HAVE AN AIR GAP BETWEEN THE FRAMING MEMBERS AND THE CONCRETE WALLS OR SHALL HAVE AN APPROVED VAPOR RETARDER APPLIED BETWEEN THE CONCRETE WALL AND THE FRAMING MEMBERS.

FRAMING NOTES & MATERIAL SPECIFICATIONS

- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- SPLIT DOUBLE JOISTS TO ACCOMMODATE PLUMBING, HVAC, ETC.
- PROVIDE SOLID BLOCKING UNDER ALL PERPENDICULAR PARTITIONS.
- ALL STRUCTURAL HEADERS TO BE (2) 2X12'S W/ 3" PLYWOOD U.N.O.
- PROVIDE STEEL JOIST HANGERS AS REQUIRED. INSTALL & NAIL HANGERS PER MANUFACTURER'S SPECIFICATIONS.
- ALL BEARING POINTS TO BE (3) 2X4'S U.N.O. BEARING DIRECTLY TO FOUNDATION, STEEL, OR OTHER APPROVED HEADER.
- ALL WOOD IN CONTACT W/ CONCRETE TO BE TREATED.
- PROVIDE BRIDGING FOR 2X FLOOR JOISTS @ 8'-0" O.C.
- PROVIDE BRIDGING FOR 2X CEILING JOISTS @ 10'-0" O.C.
- PROVIDE BRIDGING FOR 2X RAFTERS IN VAULTED CEILING @ 10'-0" O.C.
- PROVIDE COLLAR TIES FOR RAFTERS @ 32" O.C.
- INSTALL FABRICATED WOOD PRODUCTS PER MANUFACTURER'S SPECIFICATIONS.
- ALL WOOD IN CONTACT W/ CONCRETE TO BE TREATED.
- PROVIDE DOUBLE JOISTS UNDER MASTER BATH TUB & SHOWER.
- PROVIDE DOUBLE JOISTS UNDER KITCHEN COUNTERS & ISLANDS.
- ALL FRAMING LUMBER TO BE SPF#2 (OR BETTER). Fb=1289psi.
- DESIGN LOADS:
FLOOR JOISTS:
40 PSF LIVE LOAD, 20 PSF DEAD LOAD
CEILING JOISTS: 20 PSF LIVE LOAD
RAFTERS: 30 PSF LIVE LOAD, 15 PSF DEAD LOAD
GROUND SNOW LOAD: 30 PSF
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF C=3,000 PSI
- ALL REINFORCEMENT STEEL SHALL BE ASTM GRADE 60 Fy=60KSI
- ALL PORCH WOOD TO BE TREATED.

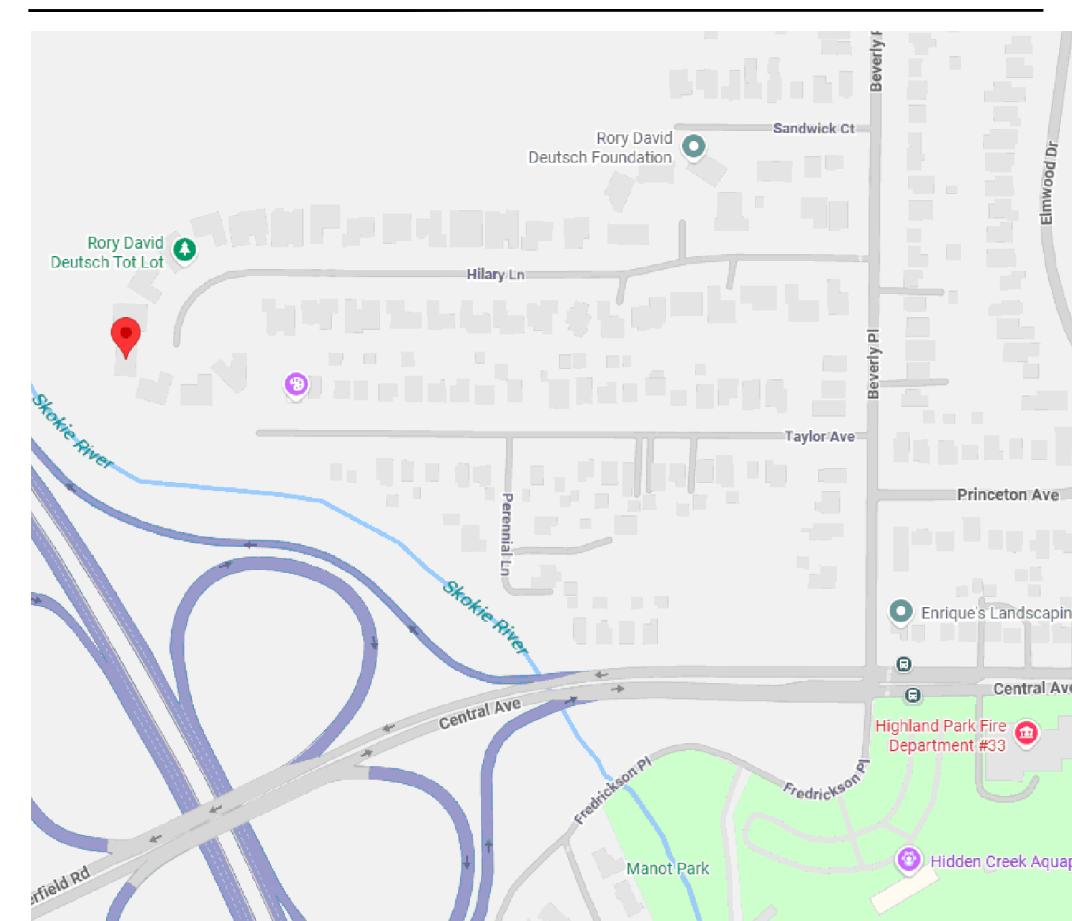
ADDITIONAL CONSTRUCTION NOTES

- WOOD POSTS SUPPORTING A DECK SHALL BE ANCHORED TO CONCRETE FOOTINGS ABOVE GRADE BY AN APPROVED MANUFACTURED POST CONNECTOR PER CITY OF HIGHLAND PARK AMENDMENT TO 2018 IRC, SECTION R507.4.1
- DECK BEAM CONSTRUCTION SHALL BE IN ACCORDANCE TO 2018 IRC, SECTION R507.5. MAXIMUM ALLOWABLE SPANS FOR WOOD DECK BEAMS SHALL BE IN ACCORDANCE WITH 2018 IRC, TABLE R507.5.
- LEDGERS SHALL BE A MINIMUM 2-INCH BY 8-INCH NOMINAL, PRESSURE-PRESERVATIVE TREATED SOUTHERN PINE, INCISED PRESSURE-PRESERVATIVE HEM-FIR, OR APPROVED, NATURALLY DURABLE, NO. 2 GRADE OR BETTER LUMBER. DECK LEDGERS SHALL NOT SUPPORT CONCENTRATED LOADS FROM BEAMS OR GIRDERS. DECK LEDGERS SHALL NOT BE SUPPORTED ON STONE OR MASONRY VENEER UNLESS USED WITH APPROVED CONNECTORS. 2018 IRC SECTION R507.9.1.1.
- APPROVED FLASHING SHALL BE INSTALLED AT THE TOP AND BOTTOM OF LEDGER BOARDS.
- STAIR CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R311.7.5 (MAX. 7-3/4" RISER HEIGHT, MIN. 10" TREAD DEPTH AND THE MAX. HEIGHT DIFFERENCE BETWEEN THE GREATEST AND SMALLEST RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED 3/8").
- GUARDRAIL CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R312.1 (MIN. 36" HIGH GUARDRAIL AND WITH BALUSTER SPACING SO AS NOT TO ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER).
- DECK AND GUARDRAIL FRAMING SHALL BE CAPABLE OF SUPPORTING LOADS PER 2018 IRC, SECTION R301.5 (MIN. 38" ABOVE TREAD NOSING), HANDRAIL PROTECTION PER SECTION R317.
- ALL HARDWARE AND FASTENERS TO BE CORROSION RESISTANT PER 2018 IRC, SECTION R317.3.
- HANDRAIL CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R311.7.8 - HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH 4 OR MORE RISERS, HANDRAIL HEIGHT SHALL COMPLY WITH SECTION R311.7.8.1 (MAX. 34" TO MAX. 38" ABOVE TREAD NOSING), HANDRAIL ENDS SHALL COMPLY WITH SECTION R311.7.8.4 AND HANDRAIL GRIP SIZE SHALL COMPLY WITH SECTION R311.7.8.5.
- OUTDOOR GFI RECEPTACLES TO COMPLY WITH 2017 NEC, ARTICLES 406.9(B)(1) AND 406.9(B)(2) FOR WEATHER PROOF COVER.
- SCREEN PORCH: INSECT SCREENING SHALL NOT BE CONSIDERED TO BE A GUARD PER 2018 IRC, SECTION R312.1.1.

ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL BE DONE PER THE APPLICABLE CODE W/ ALL CITY OF HIGHLAND PARK AMENDMENTS.
- PROVIDE RECEPTACLE OUTLETS 12 FEET ON CENTER, INCLUDING ANY WALL SPACE TWO (2) FEET OR MORE IN WIDTH AND ALL SPACE OCCUPIED BY SLIDING PANELS IN EXTERIOR WALLS.
- LAYOUT IS DIAGRAMMATIC AND CONTRACTOR SHALL INSTALL WORK TO MEET FIELD CONDITIONS. EXACT LOCATION OF FIXTURES AND RECEPTACLES, AND SWITCHES TO BE APPROVED BY THE OWNER. VERIFY ALL CONDITIONS SUCH AS DUCT SYSTEMS AND COORDINATE WITH WORK OF OTHER TRADES.
- ALL MATERIALS SHALL BE NEW AND UL APPROVED.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROPER LABELLING OF NEW CIRCUITS AT PANEL.
- PROVIDE WATERPROOF PLASTIC LENS COVERS FOR RECESSED LIGHTS ABOVE SHOWER AND BATH TUB.
- ALL GROUNDING SHALL CONFORM TO NEC AND LOCAL AUTHORITY REQUIREMENTS.
- PROVIDE GROUND FAULT INTERRUPTED OUTLETS IN ALL WATER USE AREAS, AS PER CODE.
- PROVIDE G.F.C.I. OUTLETS AT ALL KITCHEN COUNTERS, BATHROOMS, EXTERIOR, GARAGE, UNFINISHED BASEMENT LOCATIONS AND OUTLETS WITHIN SIX (6) FEET OF WET BAR SINK. A SEPARATED 20 AMP CIRCUIT IS REQUIRED FOR EACH BATHROOM.
- PROVIDE AT LEAST ONE WALL SWITCHED/ CONTROLLED LIGHTING OUTLET IN EVERY HABITABLE ROOM, INCLUDING BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGE, DETACHED GARAGES AND AT OUTDOOR ENTRANCES OR EXITS.
- 3 & 4 WAY SWITCHES SHALL BE INSTALLED AT ALL ENTRY/EXIT POINTS IN ALL ROOMS AND HALLWAYS WITH MORE THAN 1 MEANS OF ENTRY.
- ALL PERMANENTLY INSTALLED LIGHTING FIXTURES, EXCLUDING KITCHEN APPLIANCE LIGHTING FIXTURES, SHALL CONTAIN ONLY HIGH-EFFICIENCY LIGHTING SOURCES- PER 2021 IECC, SECTION R404.1
- ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING CEILING FANS.
- ALL AVAILABLE GROUNDING ELECTRODES SHALL BE BONDED TO THE ELECTRIC SERVICE. THIS WILL INCLUDE THE CONCRETE ENCASED ELECTRODE IN THE FOOTING.
- ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT AND PUMP MOTORS ASSOCIATED WITH THE WHIRLPOOL TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER NO SMALLER THAN NO. 8 SOLID.
- ALL AVAILABLE GROUNDING ELECTRODES ARE BONDED TO THE ELECTRIC SERVICE. THIS WILL INCLUDE THE CONCRETE ENCASED ELECTRODE IN THE FOOTING/FOUNDATION.
- EXTERIOR LIGHTING SHALL COMPLY WITH HIGHLAND PARK ZONING ORDINANCE, SECTION 150.605
- OUTDOOR GFI RECEPTACLES TO COMPLY WITH 2017 NEC, ARTICLES 406.9(B)(1) AND 406.9(B)(2) FOR WEATHER PROOF COVER.

PROJECT LOCATION



APPLICABLE CODES

- 2018 INTERNATIONAL BUILDING CODE FOR 1 & 2 FAMILY DWELLINGS
- 2017 NATIONAL ELECTRICAL CODE
- CURRENT EDITION STATE OF ILLINOIS PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2018 INTERNATIONAL FIRE CODE

ALL CODES W/ CITY OF HIGHLAND PARK AMENDMENTS

GENERAL NOTES

- CONTRACTOR SHALL PROCEED WITH THE UNDERSTANDING AND AGREEMENT THAT A SATISFACTORY JOB IS OBTAINABLE WITH THE INFORMATION AS PROVIDED. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DIMENSIONAL ACCURACY. ALL DIFFERENCES IN ANTICIPATED DIMENSIONS OR CONDITIONS SHALL BE IMMEDIATELY SUBMITTED IN WRITING TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OR CONTRICTION OF WORK OR THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAME. ANY DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF ARCHITECT SHALL BE THE RESPONSIBILITY OF OWNER AND SHALL NULLIFY AND VOID ANY ARCHITECTURAL CONDITION.
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS OF EXISTING CONSTRUCTION IN THE FIELD. PLANS OF NEW AND EXISTING CONSTRUCTION SHALL NOT BE SCALED. DUE TO THE NATURE OF CONSTRUCTION, THE WRITTEN DIMENSIONS DEPICTED MAY VARY SLIGHTLY FROM ACTUAL CONDITIONS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO MAKE ALL FINAL MEASUREMENTS AND FIELD ADJUSTMENTS PRIOR TO ORDERING MATERIALS AND COORDINATING LABOR.
- DUE TO THE NATURE OF CONSTRUCTION, THESE DRAWINGS MAY NOT DEPICT EVERY PIECE OF MATERIAL AND ALL LABOR REQUIRED FOR CONSTRUCTION. THE GENERAL CONTRACTOR IS TO PROVIDE AN ALLOWANCE OR CONTINGENCY FUND TO COVER SUCH UNFORESEEN CONDITIONS OR PLAN MISINTERPRETATIONS. BY PROCEEDING WITH CONSTRUCTION, THE GENERAL CONTRACTOR/BUILDER, SUB-CONTRACTOR AGREE AND ARE SATISFIED WITH THESE PLANS AS BEING ADEQUATE TO CONSTRUCT THE PROJECT AS INTENDED.
- THE CONTRACTOR SHALL SUBMIT WRITTEN NOTICE TO THE ARCHITECT AND OWNER IF DISCREPANCIES EXIST.
- BEFORE SUBMITTING PROPOSALS FOR THIS WORK, EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE BUILDING SITE AND SATISFIED HIMSELF/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH THEY WILL BE OBLIGED TO OPERATE IN PERFORMING THEIR PART OF THE WORK, OR THAT IN ANY MANNER AFFECT THE WORK UNDER CONTRACT.
- ALL FEDERAL AND ILLINOIS HEALTH AND SAFETY ACTS SHALL BE INCORPORATED INTO THE GENERAL SPECIFICATIONS. ANY CONTRACTOR OR EMPLOYEE THEREOF REFUSING TO COMPLY WITH THE SAFETY STANDARDS SET FORTH IN THE ACTS SHALL BE DISMISSED FROM THE JOB SITE. ANY FINES LEVIED BY THE STATE OR FEDERAL OSHA OFFICERS SHALL BE PAID BY THE SUBCONTRACTOR.
- FURNISH ALL LABOR, MATERIALS, TOOLS, INSURANCE AND PERMITS NECESSARY TO COMPLETE THE WORK AS SHOWN AND AS REASONABLY IMPLIED BY THE DRAWINGS, SPECIFICATIONS, NOTES AND REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- EACH SUBCONTRACTOR IS RESPONSIBLE FOR THE ACTION AND SUPERVISION OF HIS/HER EMPLOYEE, AS WELL AS THE QUALITY AND SAFETY OF LADDERS, SCAFFOLDS, AND ANY CONSTRUCTION TOOLS OR STRUCTURES USED OR ERECTED AT THE JOB SITE. ALL EMPLOYEES ARE TO HAVE MEDICAL WORKER'S COMPENSATION AND LIABILITY COVERAGE UNDER THE INSURANCE POLICIES OF THEIR EMPLOYERS.
- THE PROPERTY OWNER, GENERAL CONTRACTOR, AND SUB-CONTRACTORS UNDERSTAND AND AGREE THAT THE ARCHITECT IS NOT TO PROVIDE ANY SITE SUPERVISION OR SITE VISITATION. THE OWNER, GENERAL CONTRACTOR, AND SUB-CONTRACTORS ARE SOLELY RESPONSIBLE FOR SITE CONDITIONS, CONSTRUCTION PROCEDURES, AND SCHEDULING AND MATERIAL INSTALLATION AT THIS JOB.
- EACH SUBCONTRACTOR SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR AND PROPERTY OWNER OF ANY PERCEIVED HAZARD TO LIFE, HEALTH OR PROPERTY (OR ANY POTENTIALLY DANGEROUS SITUATION), WHICH MAY DEVELOP DURING THE COURSE OF CONSTRUCTION. WORK SHALL BE HALTED UNTIL SUCH HAZARDS ARE ELIMINATED.
- ALL MATERIALS AND PRODUCTS ARE TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS FOR COMPARABLE EXISTING CONDITIONS.
- FACTORY BUILT FIREPLACE MANUFACTURER'S SPECIFICATIONS AND PRECAUTIONS BEFORE COMMENCING WORK.
- GENERAL CONTRACTOR SHALL PROTECT ADJACENT AREAS AND PROPERTIES NOT IN CONTRACT.
- EACH CONTRACTOR OR SUBCONTRACTOR IN SIGNING THEIR CONTRACT GUARANTEES THEIR WORK FOR A PERIOD OF 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL LEAVE THE WORK IN PERFECT ORDER UPON COMPLETION. NEITHER THE FINAL CERTIFICATE OF PAYMENT NOR ANY PROVISION IN THE CONTRACT DOCUMENTS SHALL RELIEVE THE CONTRACTOR OR SUB-CONTRACTOR OF THE RESPONSIBILITY FOR NEGLIGENCE, FAULTY MATERIALS, OR WORKMANSHIP, WITHIN THE EXTENT AND PERIOD PROVIDED BY LAW.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO SUPPLY THE OWNER WITH CERTIFICATES OF INSURANCE PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING WITH OWNER THE INSTALLATION REQUIREMENTS OF ALL FURNISHED ITEMS.
- INSTALLATION DETAILS, ALONG WITH ANY OTHER SPECIALIZED EQUIPMENT/ APPLIANCE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS, SHALL BE MADE AVAILABLE TO THE BUILDING OFFICIAL AT TIME OF ROUGH FRAMING INSPECTION.

DRAWING INDEX

- A1 EXISTING SITE PLAN
PROPOSED SITE PLAN
PROJECT LOCATION
NOTES
- A2 FOUNDATION PLAN
FIRST FLOOR PLAN
FIRST FLOOR DEMOLITION PLAN
FIRST FLOOR ELECTRICAL PLAN
- A3 EXISTING NORTH ELEVATION
PROPOSED NORTH ELEVATION
EXISTING SOUTH ELEVATION
PROPOSED SOUTH ELEVATION
- A4 EXISTING WEST ELEVATION
PROPOSED WEST ELEVATION
- A5 FIRST FLOOR FRAMING PLAN
HEADER PLAN
ROOF FRAMING PLAN
TYPICAL WALL SECTION

ZONING INFORMATION

- ZONED = R-6
- REQ'D BUILDING SETBACKS:
FRONT = 25.00'
SIDE = 6.00' MIN
REAR = 25.00'
- MAXIMUM BUILDING HEIGHT
AVG. EXISTING GRADE TO T/ROOF = 32.00'

FLOOR AREA CALCULATIONS

ZONED	= R-6
LOT AREA	= 13384.43
EXISTING FLOOR AREA	= 5332.07 (39.84%)
PROPOSED ADDITION	= 381.83 (2.85%)
TOTAL PROPOSED	= 5713.90 (42.69%)
MAX. ALLOWABLE	= 4080.00 (30.48%)

SHEET NO. **A-1**
OF 5 SHEETS

DATE:

9-16-25
9-18-25
10-28-25

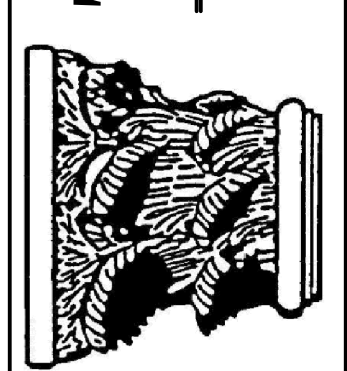
ADDITION
1331 HILLARY LANE
HIGHLAND PARK, ILLINOIS 60035

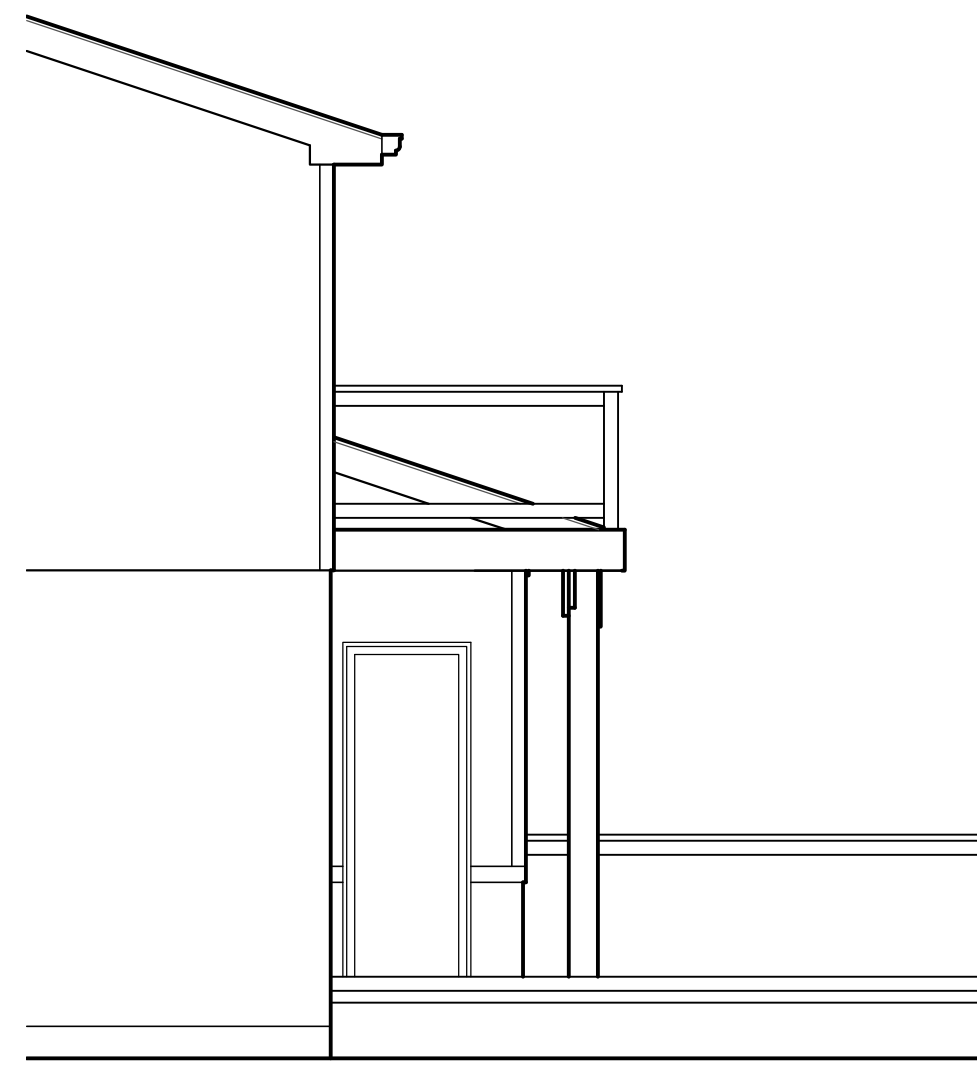
TOWN STUDIOS, INC.
PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM

1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062

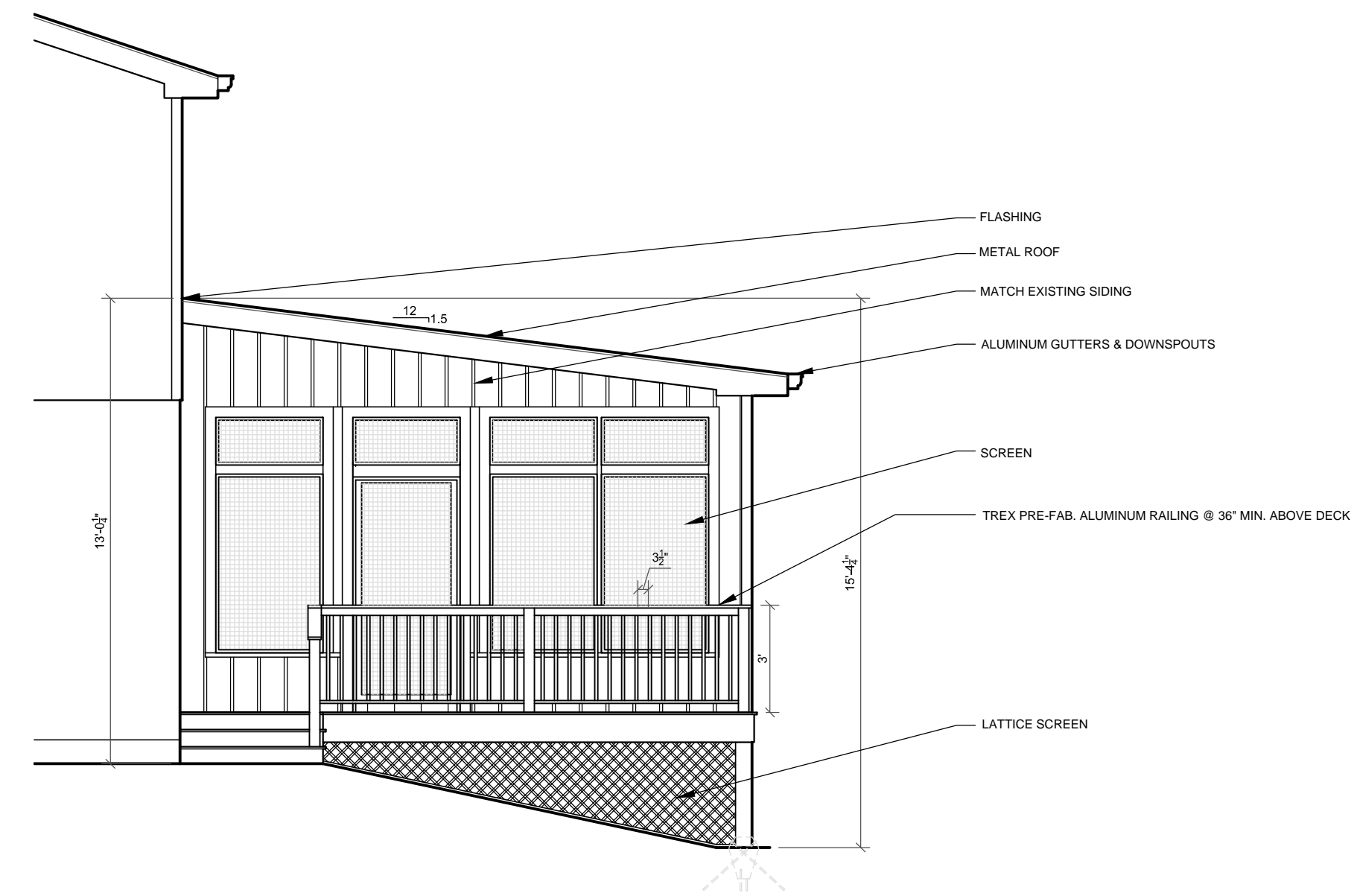


Clifford Town
10/28/25

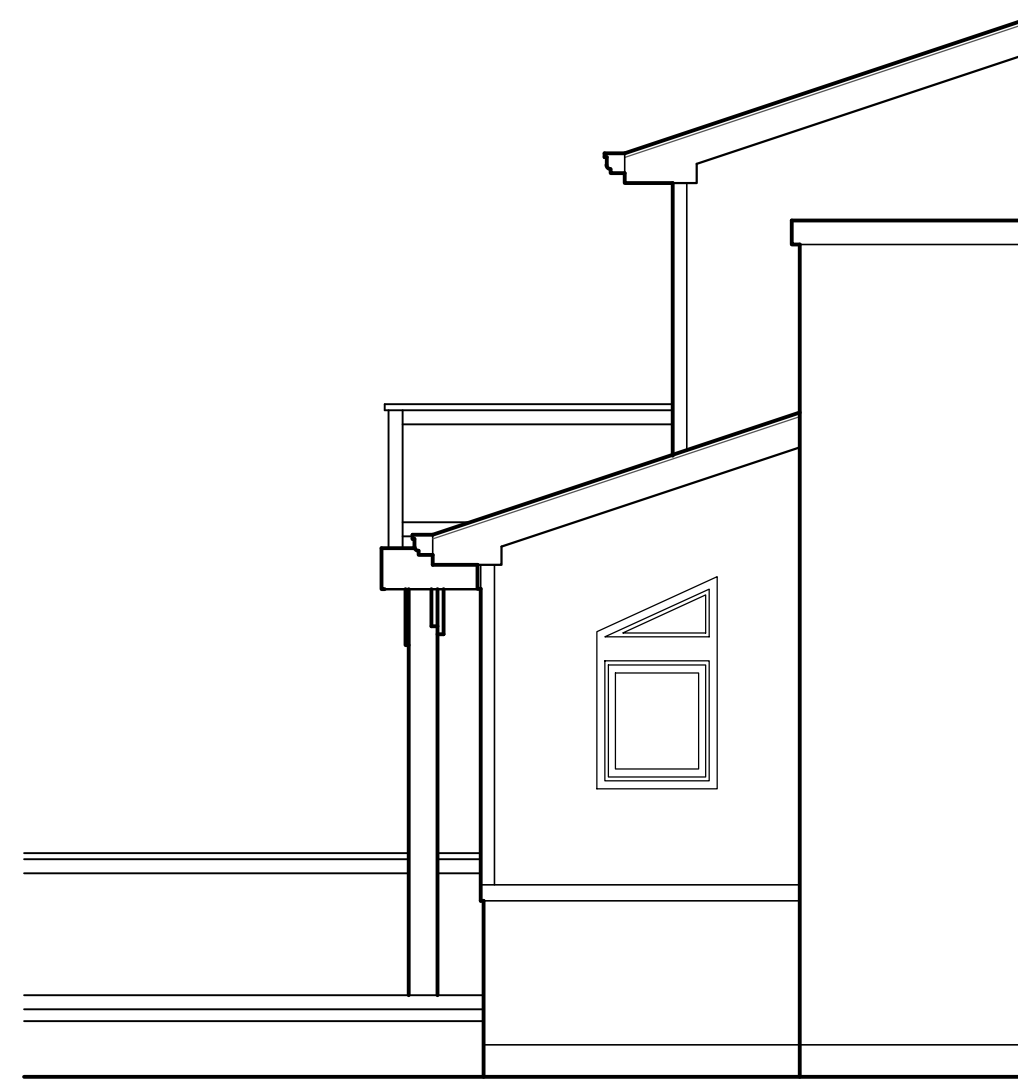




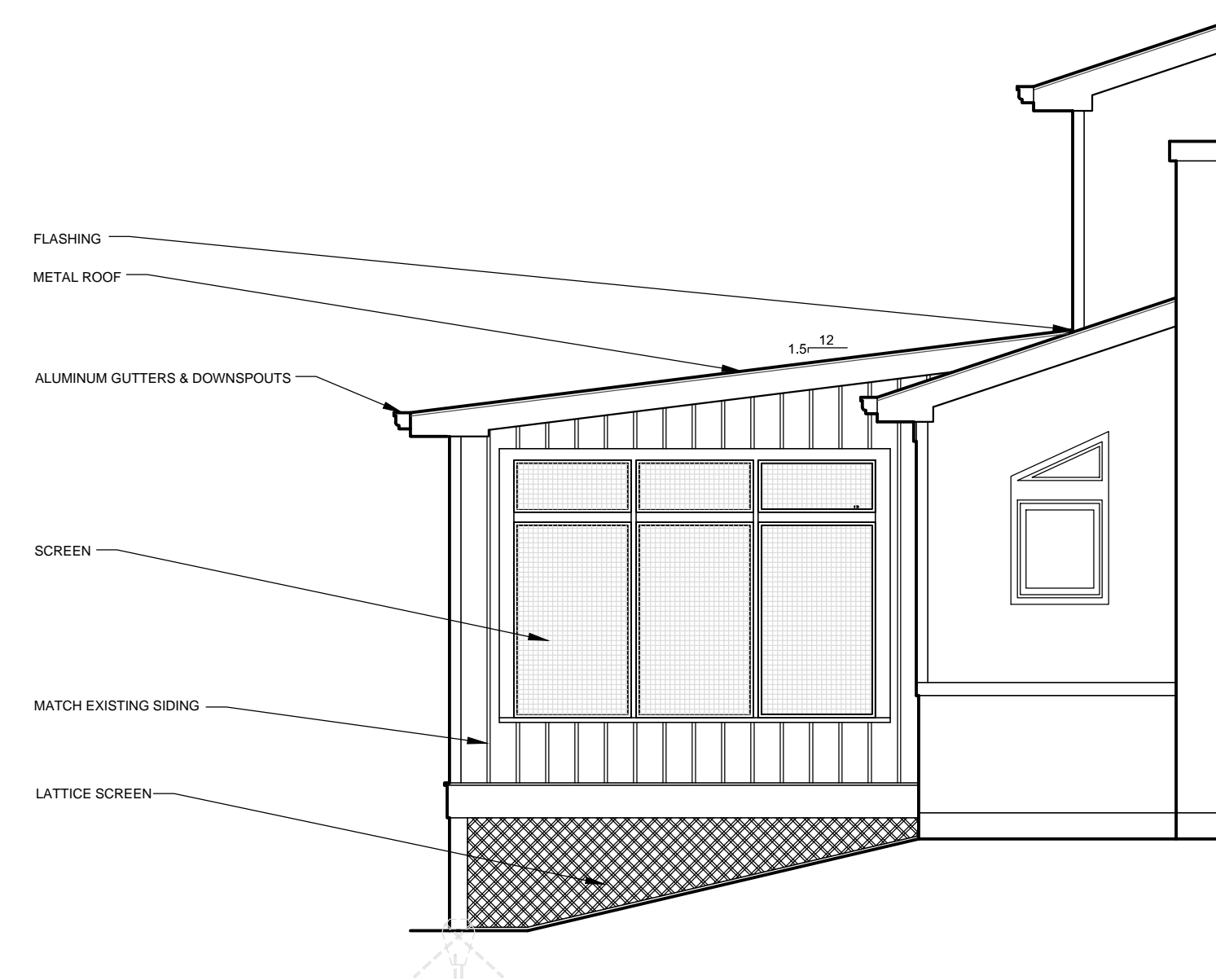
01 EXISTING NORTH ELEVATION (RIGHT SIDE)
SCALE: 1/4"=1'-0"



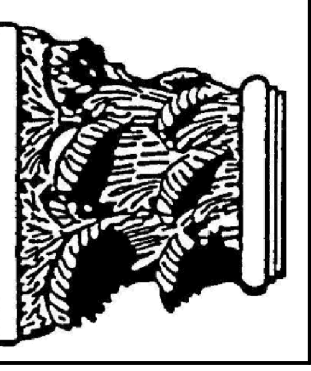
02 PROPOSED NORTH ELEVATION (RIGHT SIDE)
SCALE: 1/4"=1'-0"

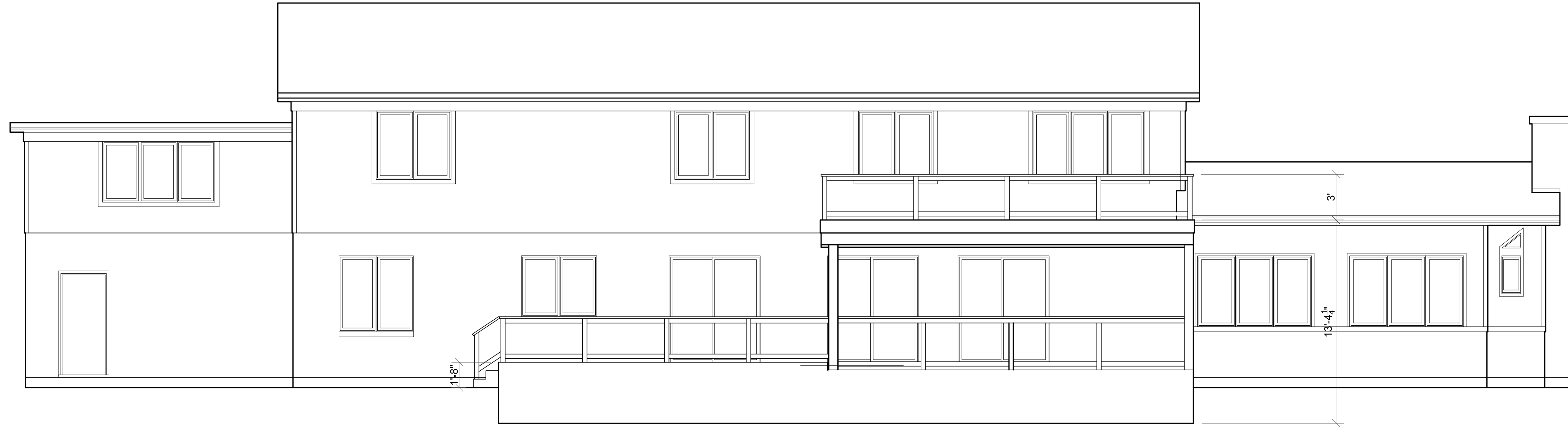


03 EXISTING SOUTH ELEVATION (LEFT SIDE)
SCALE: 1/4"=1'-0"



04 PROPOSED SOUTH ELEVATION (LEFT SIDE)
SCALE: 1/4"=1'-0"

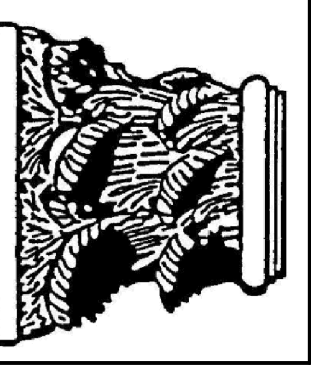




01 EXISTING WEST ELEVATION (REAR)
SCALE: 1/4"=1'-0"



02 EXISTING WEST ELEVATION (REAR)
SCALE: 1/4"=1'-0"





PROCLAMATION

WHEREAS, *Jami Bay* has served, with distinction, as a member of the Zoning Board of Appeals since January 2017, leading and participating in consideration of cases essential to the improvement of this community, its neighborhoods and the quality of life therein, and

WHEREAS, *Jami Bay* was responsible for promoting and increasing community awareness of the need for sound residential and commercial planning and the need to appropriately design public and private improvements in Highland Park during their tenure on the Zoning Board of Appeals, and

WHEREAS, in being the institutional memory for the Zoning Board and in serving with honor, their public service attests to their steadfast integrity, wisdom and excellence of character,

BE IT THEREFORE RESOLVED that the members of the Zoning Board of Appeals of Highland Park do hereby recognize ***Jami Bay*** for their dedicated and untiring public service a Member of the Board on behalf of the residents of the City and,

IT IS FURTHER RESOLVED that as an expression of our respect and grateful appreciation to ***Jami Bay's*** service, we hereby adopt this resolution as a permanent record thereof on the 20th Day of November, 2025, in Highland Park, Illinois.

Alexis Yablon, Vice-Chair

Brad Zaransky, Board Member

Jonathan Treshansky, Board Member

Irene Chase, Board Member

Scott Weisberg, Board Member

Jeffrey Aronoff, Board Member

Jon Center, Council Liaison

Patrick Hoffmann, Staff Liaison